



## Arlington Zoning Board of Appeals

**Date:** Tuesday, August 30, 2022  
**Time:** 7:30 PM  
**Location:** Conducted by remote participation  
**Additional Details:**

### Agenda Items

#### Administrative Items

1. **Remote Participation Details**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Baker's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: <https://www.mass.gov/doc/open-meeting-law-order-march-12-2020/download>

You are invited to a Zoom meeting.  
When: Aug 30, 2022 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:  
[https://town-arlington-ma-us.zoom.us/meeting/register/tZludu2gqzosEtYWWSnIO1ux22g6Zj9cq00P](https://town-arlington-ma-us.zoom.us/joining/register/tZludu2gqzosEtYWWSnIO1ux22g6Zj9cq00P)

After registering, you will receive a confirmation email containing information about joining the meeting.

Meeting ID 863 1485 1682

Dial by your location  
+1 312 626 6799 US (Chicago)  
+1 646 876 9923 US (New York)  
+1 646 931 3860 US  
+1 301 715 8592 US (Washington DC)

2. **Members Vote: Approval of Meeting Minutes from August 9, 2022**  
3. **Members Vote: Approval of Decision for 13-15 Adams Street**

## **Hearings**

4. **Docket # 3705 : 24 Grandview Road (continuance)**
5. **Docket # 3708 : 12 Prospect Avenue (continuance)**
6. **Docket # 3709 : 49 Valentine Road**
7. **Docket # 3710 : 33 Varnum Street**
8. **Docket # 3711 : 101 Robbins Road**
9. **Docket # 3712 : 60 Highland Avenue**

## **Meeting Adjourn**



## Town of Arlington, Massachusetts

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### Remote Participation Details

#### Summary:

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

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You are invited to a Zoom meeting.

When: Aug 30, 2022 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

<https://town-arlington-ma-us.zoom.us/meeting/register/tZludu2gqzosEtYvWSnIO1ux22g6Zj9cq00P>

After registering, you will receive a confirmation email containing information about joining the meeting.

Meeting ID 863 1485 1682

Dial by your location

+1 312 626 6799 US (Chicago)

+1 646 876 9923 US (New York)

+1 646 931 3860 US

+1 301 715 8592 US (Washington DC)



## Town of Arlington, Massachusetts

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### Docket # 3705 : 24 Grandview Road (continuance)

#### ATTACHMENTS:

Type	File Name	Description
▣ Reference Material	ZBA_Package__24_Grandview_Road.pdf	ZBA Package, 24 Grandview Road
▣ Reference Material	Application_for_Variance_24_Grandview_Rd.pdf	Application for Variance_24 Grandview Rd
▣ Memorandum	3705__24_Grandview_Rd.pdf	DPCD Memo, Docket 3705, 24 Grandview Rd





Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Ryan and Devon Thomas** of Arlington, Massachusetts on July 1, 2022, a petition seeking permission to alter their property located at **24 Grandview Road- Block Plan 150.0-0008-0001.0** Said petition would require a Variance under **Section 5.4.2 Dimensional and Density Requirements** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted on **Tuesday evening August 9, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard.** For the location and or “Zoom” information, visit the ZBA website at **[www.arlingtonma.gov/zba](http://www.arlingtonma.gov/zba)**. This information will be posted within 48 hours of the hearing.

**DOCKET NO 3705**

**Zoning Board of Appeals**  
**Christian Klein, RA, Chair**

Please direct any questions to: **[ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)**

**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**

TOWN CLERK'S OFFICE  
ARLINGTON, MA 02174

2022 JUN 24 AM 9:58

In the matter of the Application of Ryan and Devon Thomas  
to the Zoning Board of Appeals for the Town of Arlington:

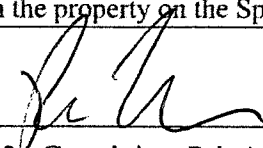
RECEIVED

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

5.4.2. Dimensional and Density Requirements The dimensional and density requirements in this  
s Section apply to principal and accessory uses and structures in the Residential districts. Table A,  
District Yard and Open Space Requirements, R1 District Use zoning requires a 25 ft front yard and 6  
ft side yard set back for an accessory structure. The property is non-conforming, so set back is 15 ft

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at  
24 Grandview Road with respect to such relief is sought; that no unfavorable action  
has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within  
the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full  
compliance with any and all conditions and qualifications imposed upon this permission, whether by  
the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant  
represents that the grounds for the relief sought are as follows:

Allowing a 6 ft set back instead of 15 ft from Spring Ave (a small alley). The property has multiple  
elevations so the proposed area is the only feasible location on the property. The proposed area  
is located off the driveway in an already developed (paved area) containing the travel trailer. A 6 ft  
set back is the only viable option for a car port on the property on the Spring Ave. side.

E-Mail: startledewe@gmail.com Signed:  Date: 06/01/2022  
Telephone: 512-704-4766 Address: 24 Grandview Rd, Arlington MA 02476

**Special Permit Criteria:** Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

Section 5.4.2 "District Yard and Open Space Requirements", District Use R0, R1 Accessory buildings and garage structures setbacks, listed as Front Yard - 25 ft, Side Yard - 6 ft, and Rear Yard - 6 ft.

The property is a corner lot bounded by Grandview Rd and Spring Ave, with car port on Spring Ave.

B). Explain why *the requested use is essential or desirable to the public convenience or welfare.*

A car port with a dark gray roof is preferable by the neighbors over an exposed travel trailer. Also, a rain catchment system will be installed, which will reduce property runoff down Spring Avenue.

C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The proposed car port is located behind a fenced area with a gate, creating no traffic congestion, or impairment of pedestrian safety on Grandview Rd nor Spring Ave.

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The proposed car port impervious cover is well within the bounds allowed by Arlington. The car port is bounded by pavers and grass with excellent drainage. Additionally, gutters will be utilized to control run-off.

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

The proposed car port complies with all non-conformity regulations, as well as all other provisions of Section 8 and the Zoning Bylaws.

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F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The area is currently used as storage for our airstream travel trailer. While the trailer is not unsightly, the addition of a covered car port with a dark gray metal roof will improve the appearance and fit with the surrounding treescape and character of the neighborhood.

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G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The space is currently utilized as storage for our travel trailer. The addition of a car port will not lead to additional use of the area.

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**TOWN OF ARLINGTON**  
Open Space / Gross Floor Area Information  
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 24 Grandview Rd

Zoning District: R1

**OPEN SPACE\***

	<b>EXISTING</b>	<b>PROPOSED</b>
Total lot area	<u>10,964</u>	<u>10,964</u>
Open Space, Usable	<u>9,111</u>	<u>9,111</u>
Open Space, Landscaped	<u>9,111</u>	<u>9,111</u>

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

**GROSS FLOOR AREA (GFA) †**

Accessory Building	<u>0</u>	<u>343</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u></u>	<u></u>
1 <sup>st</sup> Floor	<u></u>	<u></u>
2 <sup>nd</sup> Floor	<u></u>	<u></u>
3 <sup>rd</sup> Floor	<u></u>	<u></u>
4 <sup>th</sup> Floor	<u></u>	<u></u>
5 <sup>th</sup> Floor	<u></u>	<u></u>
Attic (greater than 7'-0" in height, excluding elevator machinery; or mechanical equipment)	<u></u>	<u></u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u></u>	<u></u>
All weather habitable porches and balconies	<u></u>	<u></u>
<b>Total Gross Floor Area (GFA)</b>	<u></u>	<u></u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

**REQUIRED MINIMUM OPEN SPACE AREA**

Landscaped Open Space (Sq. Ft.)	<u>9,111</u>	<u>9,111</u>
Landscaped Open Space (% of GFA)	<u>83.1%</u>	<u>83.1%</u>
Usable Open Space (Sq. Ft.)	<u>9,111</u>	<u>9,111</u>
Usable Open Space (% of GFA)	<u>83.1%</u>	<u>83.1%</u>

This worksheet applies to plans dated \_\_\_\_\_ designed by \_\_\_\_\_

Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_

**TOWN OF ARLINGTON**  
 Dimensional and Parking Information  
 For Applications to the Zoning Board of Appeals

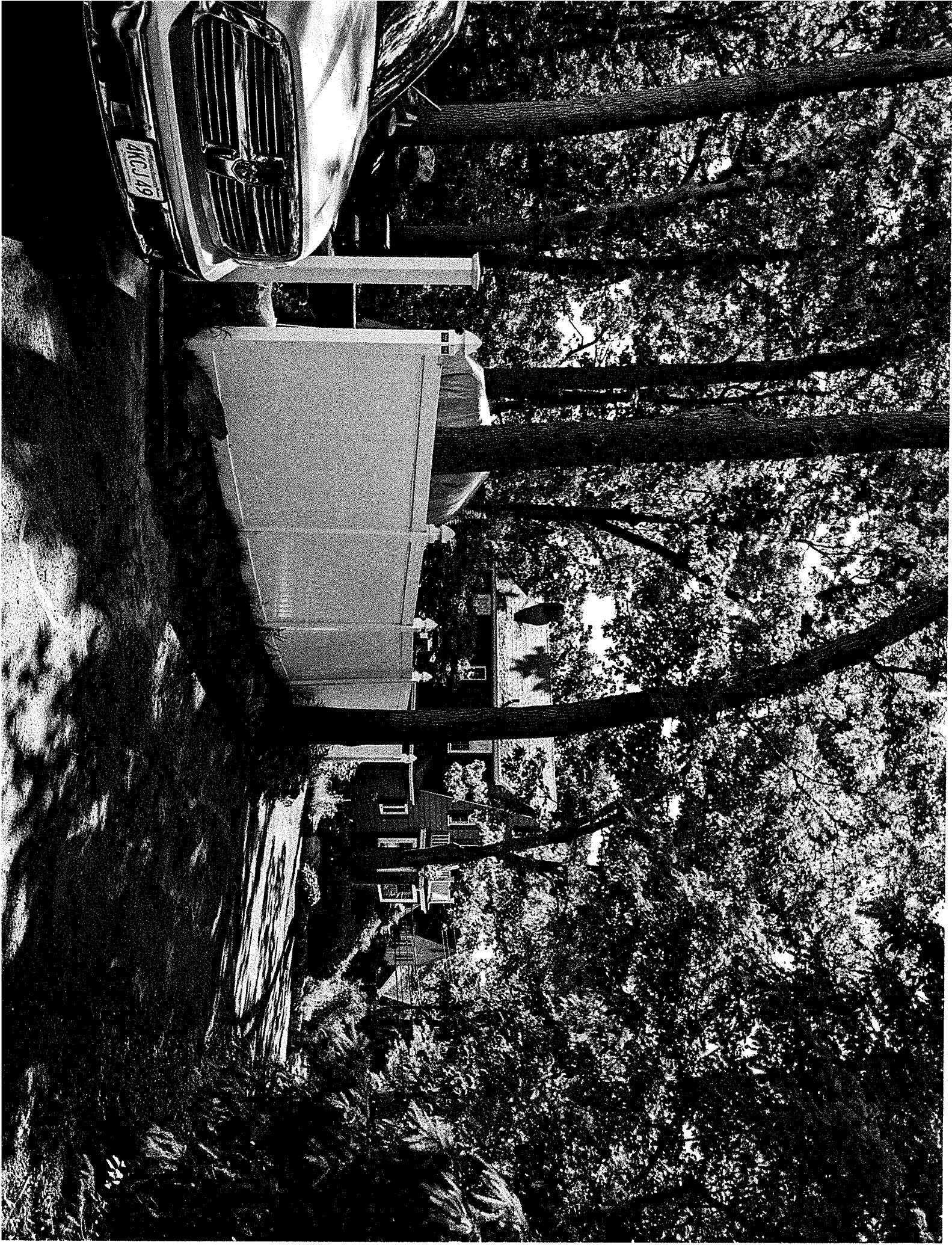
1. Property Location: 24 Grandview Rd Zoning District: R1
2. Present Use/Occupancy: Single Family / Occupied No. of dwelling units 1
3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
                     Sq. Ft.
4. Proposed Use/Occupancy: Single Family / Occupied No. of dwelling units 1
5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
                     Sq. Ft.

6. Lot size (Sq. Ft.)
7. Frontage (Ft.)
8. Floor area ratio
9. Lot Coverage ( %)
10. Lot Area per Dwelling Unit (Sq. Ft.)
11. Front Yard Depth (Ft.)
12. Left Side Yard Depth (Ft.)
13. Right Side Yard Depth (Ft.)
14. Rear Yard Depth (Ft.)
15. Height (Stories)
16. Height (Ft.)
17. Landscaped Open Space (Sq. Ft.)  
 Refer to Section 2 in the Zoning Bylaw.
- 17A. Landscaped Open Space (% of GFA)
18. Usable Open Space (Sq. Ft.)  
 Refer to Section 2 in the Zoning Bylaw.
- 18A. Usable Open Space (% of GFA)
19. Number of Parking Spaces
20. Parking area setbacks (if applicable)
21. Number of Loading Spaces (if applicable)
22. Type of construction
23. Slope of proposed roof(s) (in. per ft.)

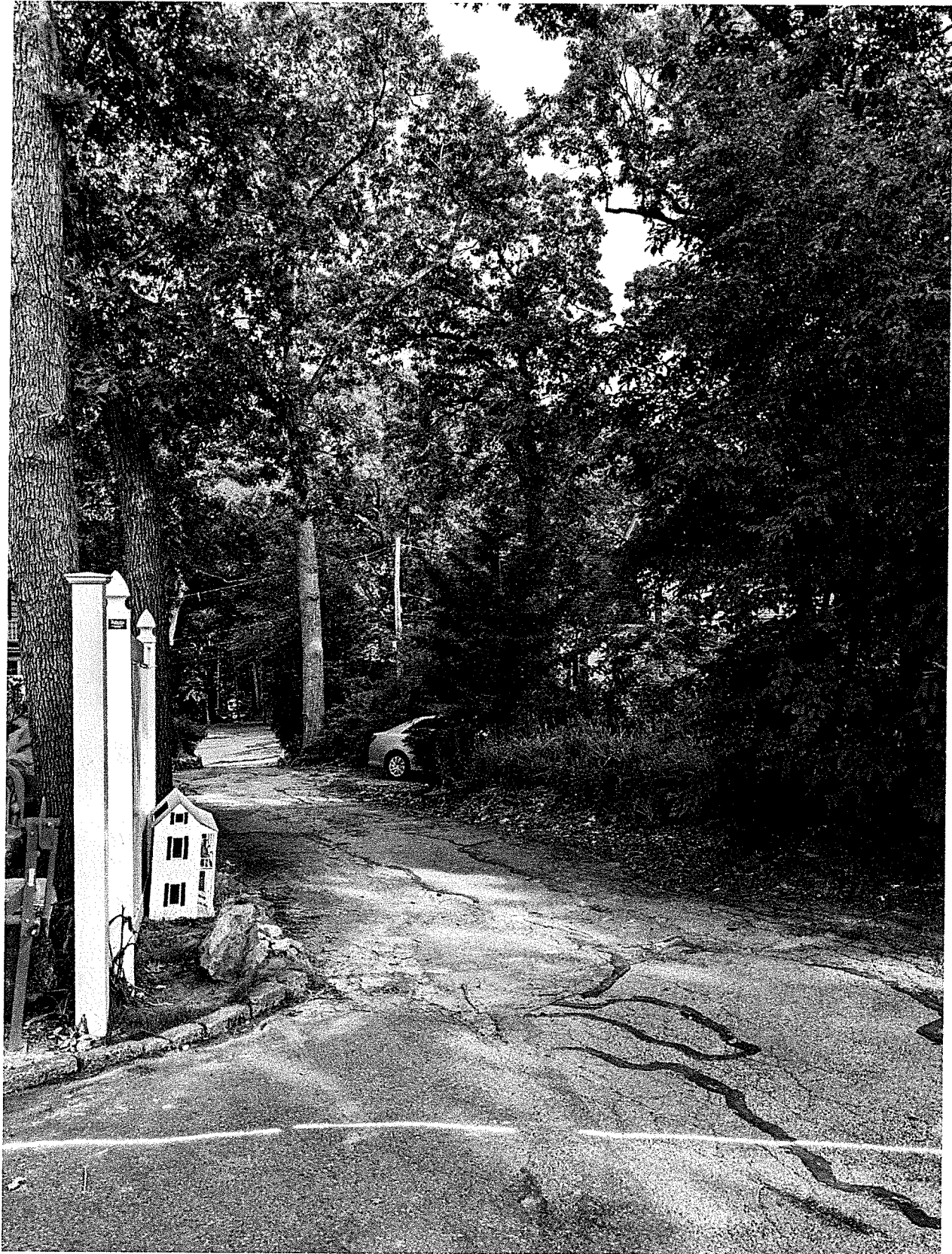
Present Conditions	Proposed Conditions	Min. or max Required by Zoning
		min.
		min.
		max.
		max
		min.
		min.
		min.
6	6	min. 6
		max.
		max.
9,111	9,111	
83.1%	83.1%	min.
9,111	9,111	
83.1%	83.1%	min.
		min.
		min.
		min.
		N/A
		min.





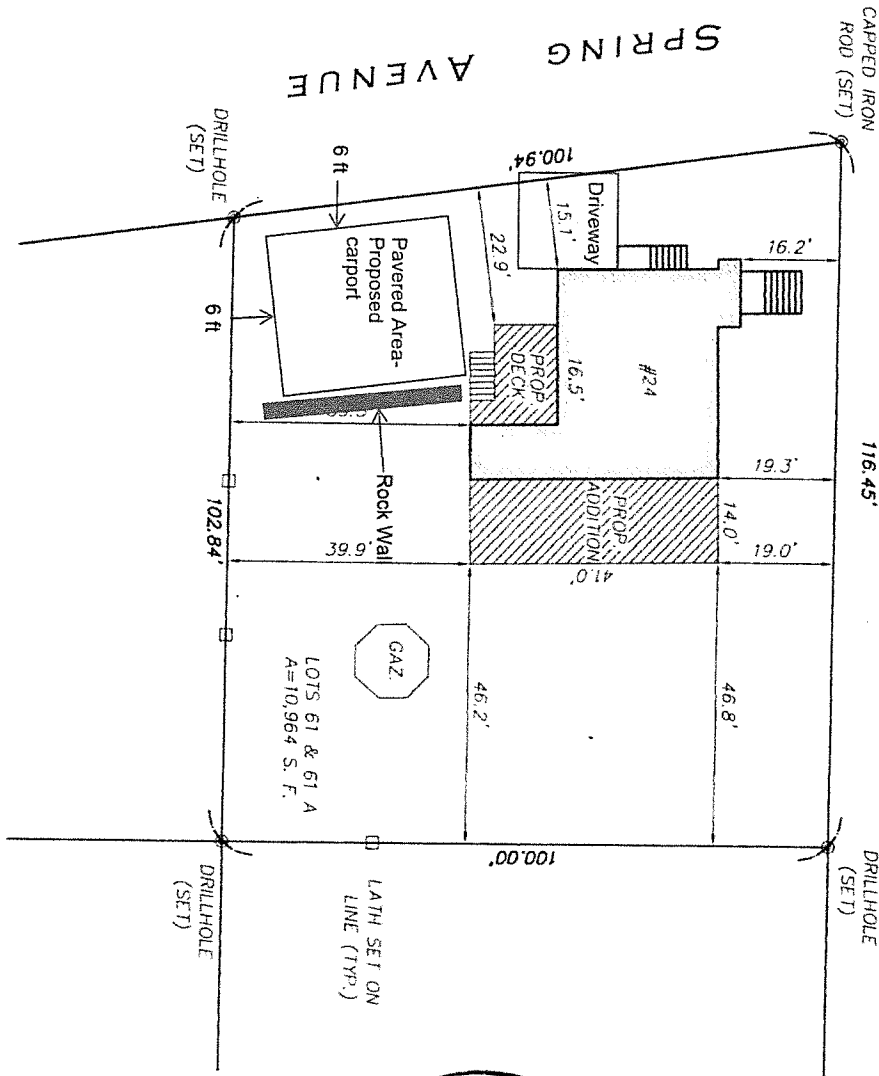






PROPOSED LOT COVERAGE=16.9%

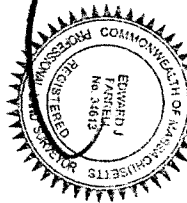
# GRAND VIEW ROAD



OWNER OF RECORD  
 RYAN & DEVON THOMAS  
 BOOK 78222 PAGE 363 M.S.R.D.

PLAN REFERENCES  
 PLAN BOOK 247 PLAN 36

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN  
 ACTUAL INSTRUMENT SURVEY.



EDWARD J. FARRELL P.L.S.

DATE

11-11-21

**PLOT PLAN**  
**24 GRAND VIEW AVENUE**  
**ARLINGTON, MASS.**  
 SCALE: 1" = 20' NOVEMBER 11, 2021  
 Prepared By  
**EDWARD J. FARRELL**  
 PROFESSIONAL LAND SURVEYOR  
 110 WINN STREET ~ SUITE 203 ~ WOBURN, MA.  
 (781)-933-9012

**REQUEST FOR VARIANCE**  
**TOWN OF ARLINGTON**

In the matter of the Application of \_\_\_\_\_  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Variance is herewith made, in accordance with Section 3.2 of the Zoning Bylaw of the Town of Arlington, Massachusetts seeking relief from the following specific provisions of the Zoning Bylaw, and as described more fully in the attached form, *Variance Criteria*:

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The Petitioner/Applicant states he/she/they is/are the owner-occupant of the land in Arlington located at \_\_\_\_\_ with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

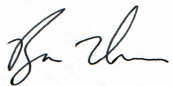
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E- Mail: \_\_\_\_\_ Signed:  \_\_\_\_\_ Date: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Address: \_\_\_\_\_

## Variance Criteria:

The power of the Board of Appeals to grant a Variance from the literal application of the Zoning Bylaw is strictly limited by State Law. Under MGL, Chapter 40a, Section 10, the Board of Appeals must “specifically find” for a particular piece of land or a specific structure that “owing to circumstances relating to the soil conditions, shape, or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located, a literal enforcement of the provisions of the ... by-law would involve substantial hardship, financial or otherwise, to the petitioner ... , and that desirable relief may be granted without substantial detriment to the public good and without nullifying or substantially derogating from the intent or purpose of such ordinance or bylaw.” (emphasis added.)

Thus, Under State Law, a Variance may only be granted when **all of the four (4) following criteria are met:**

1). Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.

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2). Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.

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3). Describe how desirable relief may be granted without substantial detriment to the public good.

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4). Describe how desirable relief may be granted ... without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.

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State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

**TOWN OF ARLINGTON**  
 Dimensional and Parking Information  
 For Applications to the Zoning Board of Appeals

1. Property Location: \_\_\_\_\_ Zoning District: \_\_\_\_\_

2. Present Use/Occupancy: \_\_\_\_\_ No. of dwelling units \_\_\_\_\_

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
 \_\_\_\_\_ Sq. Ft.

4. Proposed Use/Occupancy: \_\_\_\_\_ No. of dwelling units \_\_\_\_\_

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
 \_\_\_\_\_ Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)			min.
7. Frontage (Ft.)			min.
8. Floor area ratio			max.
9. Lot Coverage ( %)			max
10. Lot Area per Dwelling Unit (Sq. Ft.)			min.
11. Front Yard Depth (Ft.)			min.
12. Left Side Yard Depth (Ft.)			min.
13. Right Side Yard Depth (Ft.)			min.
14. Rear Yard Depth (Ft.)			min.
15. Height (Stories)			max.
16. Height (Ft.)			max.
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.			
17A. Landscaped Open Space (% of GFA)			min.
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.			
18A. Usable Open Space (% of GFA)			min.
19. Number of Parking Spaces			min.
20. Parking area setbacks (if applicable)			min.
21. Number of Loading Spaces (if applicable)			min.
22. Type of construction			N/A
23. Slope of proposed roof(s) (in. per ft.)			min.

**TOWN OF ARLINGTON**  
Open Space / Gross Floor Area Information  
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

**Address:** \_\_\_\_\_

**Zoning District:** \_\_\_\_\_

**OPEN SPACE\***

**EXISTING**

**PROPOSED**

Total lot area

\_\_\_\_\_

\_\_\_\_\_

Open Space, Usable

\_\_\_\_\_

\_\_\_\_\_

Open Space, Landscaped

\_\_\_\_\_

\_\_\_\_\_

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

**GROSS FLOOR AREA (GFA) †**

Accessory Building

\_\_\_\_\_

\_\_\_\_\_

Basement or Cellar (meeting the definition of Story,  
excluding mechanical use areas)

\_\_\_\_\_

\_\_\_\_\_

1<sup>st</sup> Floor

\_\_\_\_\_

\_\_\_\_\_

2<sup>nd</sup> Floor

\_\_\_\_\_

\_\_\_\_\_

3<sup>rd</sup> Floor

\_\_\_\_\_

\_\_\_\_\_

4<sup>th</sup> Floor

\_\_\_\_\_

\_\_\_\_\_

5<sup>th</sup> Floor

\_\_\_\_\_

\_\_\_\_\_

Attic (greater than 7'-0" in height, excluding  
elevator machinery, or mechanical equipment)

\_\_\_\_\_

\_\_\_\_\_

Parking garages (except as used for accessory  
parking or off-street loading purposes)

\_\_\_\_\_

\_\_\_\_\_

All weather habitable porches and balconies

\_\_\_\_\_

\_\_\_\_\_

**Total Gross Floor Area (GFA)**

\_\_\_\_\_

\_\_\_\_\_

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

**REQUIRED MINIMUM OPEN SPACE AREA**

Landscaped Open Space (Sq. Ft.)

\_\_\_\_\_

\_\_\_\_\_

Landscaped Open Space (% of GFA)

\_\_\_\_\_

\_\_\_\_\_

Usable Open Space (Sq. Ft.)

\_\_\_\_\_

\_\_\_\_\_

Usable Open Space (% of GFA)

\_\_\_\_\_

\_\_\_\_\_

This worksheet applies to plans dated \_\_\_\_\_ designed by \_\_\_\_\_

Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_



**TOWN OF ARLINGTON**  
DEPARTMENT OF PLANNING and  
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS 02476  
TELEPHONE 781-316-3090

**MEMORANDUM**

To: Zoning Board of Appeals  
From: Kelly Lynema, Acting Director, Dept. of Planning and Community Development  
Marisa Lau, Senior Planner  
Date: 8/3/2022  
RE: Docket 3705 – 24 Grandview Road; Variance under Zoning Bylaw Section 5.4.2  
(Dimensional and Density Requirements)

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The applicants, Ryan and Devon Thomas, seek a Variance in accordance with Section 5.4.2 (Dimensional and Density Requirements) of the Zoning Bylaw. The applicants propose to construct a 14-foot wide by 25-foot deep carport in the front yard of a corner lot with a single-family home. The purpose of the request is to provide a covered shelter for the owner's travel trailer.

The property is in the R1 Zoning District and is nonconforming with the Zoning Bylaw's front yard and usable open space requirements. The single-family home is set back 15.1 feet from Spring Avenue and 16.2 feet from Grandview Road, whereas a 25-foot front yard setback is required.

The applicants are requesting a variance for a reduction of the front yard setback for an accessory structure in the R1 Zoning District from 25 feet to 6 feet. The carport would be located to the right of the existing driveway accessed from Spring Avenue and comply with the rear and side yard setback requirements of 6 feet. Lot coverage would increase from 17% to 20% (+3%) under the proposal.

The following is an application of the Variance criteria (M.G.L. c. 40 §A.10):

Criterion #1: Soil Conditions, Shape, or Topography

The topography and existing vegetation of the site significantly limit vehicular access, except from Spring Avenue. The property slopes toward the north and east with an overall elevation change of approximately 12 feet. Additionally, mature trees are located within the front yard along Grandview Road.

Criterion #2: Hardship

The proposal is for a carport with a footprint of 343 square feet. The proposal does not comply with front yard setback requirements because the property is a corner lot, but does meet the rear and side yard requirements (6 feet). If granted, the variance request would reduce the front yard setback to 6 feet for the carport. Were the applicant to follow a literal application of the Zoning Bylaw, the financial and environmental cost to create a flat area for the carport on the sloped side of the lot would be significant.



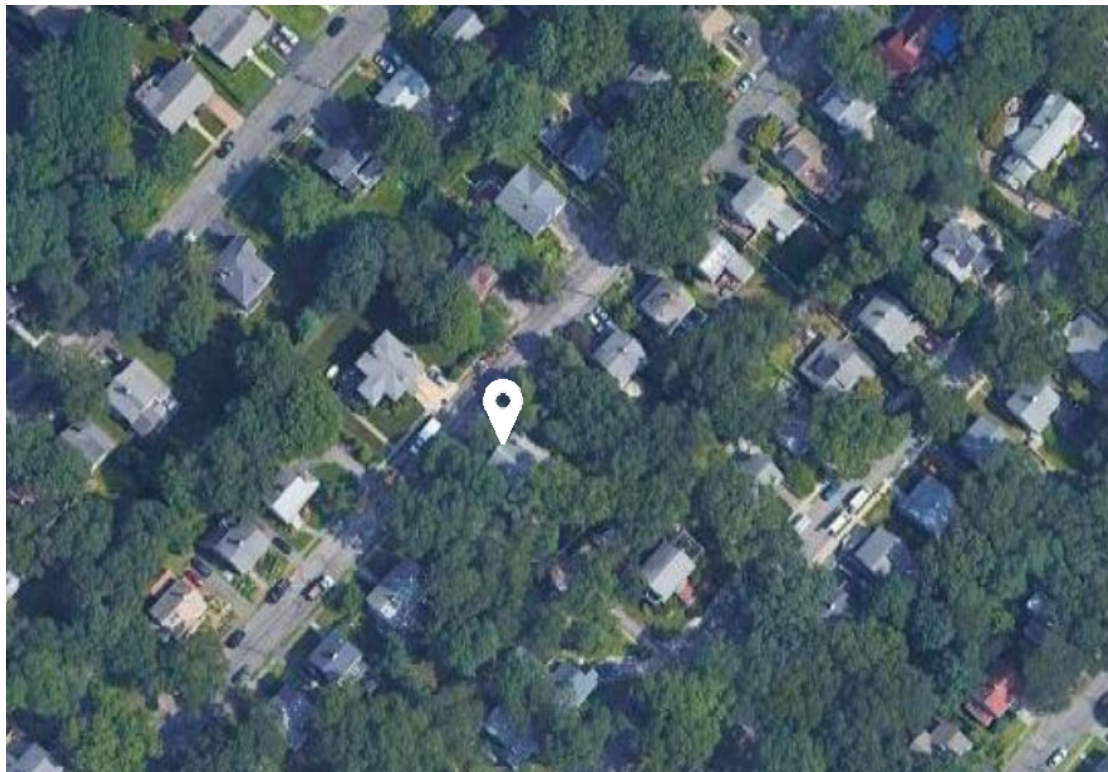
Criterion #3: Without Substantial Detriment to the Public Good

The carport would be accessed from the existing driveway. The proposed area for the carport is developed with a stone patio and no further increase in impervious area is needed. In addition, a rain catchment system for the carport will be installed, decreasing the amount of runoff from the property. The area is bounded by a privacy fence to be completed with a privacy gate that will block views of most of the trailer from the streets.

Criterion #4: Without Nullifying or Substantially Derogating From the Intent of the Zoning Bylaw

This proposal is consistent with the intent of the R1 Zoning District.

Below are aerial and street-based photos of the locus:







Recommendation:

Overall, this proposal meets the four variance criteria. The Department of Planning and Community Development recommends that the Zoning Board of Appeals approve this application.



## Town of Arlington, Massachusetts

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### Docket # 3708 : 12 Prospect Avenue (continuance)

#### ATTACHMENTS:

Type	File Name	Description
▣ Reference Material	ZBA_Package__12_Prospect_Avenue.pdf	ZBA Package, 12 Prospect Avenue
▣ Memorandum	3708_12_Prospect_Ave.pdf	DPCD Memo re: Docket 3708, 12 Prospect Ave



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

#### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **John and Althea Loakimidis** of Arlington, Massachusetts on July 1, 2022, a petition seeking permission to alter their property located at **12 Prospect Avenue- Block Plan 161.0-0005-0005.0** Said petition would require a Variance under **Section 5.4.2 Dimensional and Density Requirements** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted on **Tuesday evening August 9, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard.** For the location and or “Zoom” information, visit the ZBA website at [www.arlingtonma.gov/zba](http://www.arlingtonma.gov/zba). This information will be posted within 48 hours of the hearing.

**DOCKET NO 3708**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **[ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)**

**REQUEST FOR VARIANCE**  
**TOWN OF ARLINGTON**

In the matter of the Application of 12 Prospect Ave  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Variance is herewith made, in accordance with Section 3.2 of the Zoning Bylaw of the Town of Arlington, Massachusetts seeking relief from the following specific provisions of the Zoning Bylaw, and as described more fully in the attached form, *Variance Criteria*:

Encroaching on the side set back to build an accesible bedroom and bathroom

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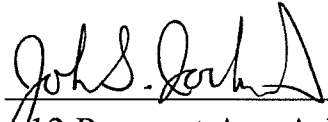
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The Petitioner/Applicant states he/she/they is/are the owner-occupant of the land in Arlington located at 12 Prospect Ave with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows: We are seeking to build An accesible on-suit for our handicap daughter. The on-suit will have an accesible Bedroom, Bathroom, and mudroom ara for her wheele chair and equipment.

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E- Mail: john.ioakimidis@yahoo.com      Signed:       Date: 07/01/2022  
Telephone: 781-646-3500      Address: 12 Prospect Ave Arlington

**Variance Criteria:**

The power of the Board of Appeals to grant a Variance from the literal application of the Zoning Bylaw is strictly limited by State Law. Under MGL, Chapter 40a, Section 10, the Board of Appeals must “specifically find” for a particular piece of land or a specific structure that “owing to circumstances relating to the soil conditions, shape, or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located, a literal enforcement of the provisions of the ... by-law would involve substantial hardship, financial or otherwise, to the petitioner ... , and that desirable relief may be granted without substantial detriment to the public good and without nullifying or substantially derogating from the intent or purpose of such ordinance or bylaw.” (emphasis added.)

Thus, Under State Law, a Variance may only be granted when **all of the four (4) following criteria are met:**

1). Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.

The soil conditions isrocky/sandy. the topo is flat.

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2). Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.

The On-suit needs to have accesibilty.

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3). Describe how desirable relief may be granted without substantial detriment to the public good.

N/A

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4). Describe how desirable relief may be granted ... without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.

The On-suit needs to have accesibilty.

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State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

**TOWN OF ARLINGTON**  
Dimensional and Parking Information  
For Applications to the Zoning Board of Appeals

1. Property Location: 12 Prospect Ave Zoning District: \_\_\_\_\_

2. Present Use/Occupancy: Single Family No. of dwelling units 1

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
1800 Sq. Ft.

4. Proposed Use/Occupancy: Single Family No. of dwelling units 1

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
2500 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	12,188		min.
7. Frontage (Ft.)	70.84		min.
8. Floor area ratio			max.
9. Lot Coverage ( %)	10%		max
10. Lot Area per Dwelling Unit (Sq. Ft.)	2500		min.
11. Front Yard Depth (Ft.)	41		min.
12. Left Side Yard Depth (Ft.)	25		min.
13. Right Side Yard Depth (Ft.)	19		min.
14. Rear Yard Depth (Ft.)	102		min.
15. Height (Stories)	2		max.
16. Height (Ft.)	28		max.
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	8000		
17A. Landscaped Open Space (% of GFA)	8000		min.
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	8000		
18A. Usable Open Space (% of GFA)	8000		min.
19. Number of Parking Spaces	4		min.
20. Parking area setbacks (if applicable)	N/A		min.
21. Number of Loading Spaces (if applicable)	N/A		min.
22. Type of construction	wood		N/A
23. Slope of proposed roof(s) (in. per ft.)	12-12		min.



**TOWN OF ARLINGTON**  
Open Space / Gross Floor Area Information  
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 12 Prospect Ave                      Zoning District: \_\_\_\_\_

<u>OPEN SPACE*</u>	EXISTING	PROPOSED
Total lot area	_____	_____
Open Space, Usable	8000	_____
Open Space, Landscaped	8000	_____

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

**GROSS FLOOR AREA (GFA) †**

Accessory Building	_____	_____
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	_____	_____
1 <sup>st</sup> Floor	1000	_____
2 <sup>nd</sup> Floor	800	_____
3 <sup>rd</sup> Floor	_____	_____
4 <sup>th</sup> Floor	_____	_____
5 <sup>th</sup> Floor	_____	_____
Attic (greater than 7’-0” in height, excluding elevator machinery; or mechanical equipment)	_____	_____
Parking garages (except as used for accessory parking or off-street loading purposes)	_____	_____
All weather habitable porches and balconies	_____	_____
<b>Total Gross Floor Area (GFA)</b>	<b>1800</b>	_____

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

**REQUIRED MINIMUM OPEN SPACE AREA**

Landscaped Open Space (Sq. Ft.)	8000	_____
Landscaped Open Space (% of GFA)	8000	_____
Usable Open Space (Sq. Ft.)	8000	_____
Usable Open Space (% of GFA)	8000	_____

This worksheet applies to plans dated 07/01/2022 designed by Constandinos Ioakimidis

Reviewed with Building Inspector: Richard Vallarelli Date: 07/01/2022

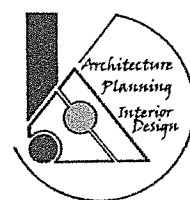


### Project:

**ADDITION & ALTERATIONS**  
**12 PROSPECT AVENUE**  
**ARLINGTON, MA 02476**

**Prepared for:**

**MS. ALTHEA IOAKIMIDIS  
MR. JOHN IOAKIMIDIS  
12 PROSPECT AVENUE  
ARLINGTON, MA 02476**



**KRITIKOS ARCHITECTS**

14 Olsen Road Peabody, MA 01960  
(978) 531-4164 E-Mail: phil@kritikosarchitects.com  
www.kritikosarchitects.com

**NOTE #1:**  
ALL WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE TOWN OF TOPSFIELD, THE OCCUPATIONAL AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES ETC. GOVERNING THE WORK.

**NOTE #2:**  
ALL PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL DEVIATIONS IN THE DIMENSIONS AND LOCATIONS ETC. BEFORE PROCEEDING WITH AFFECTED PART OF THE WORK.

**NOTE #3:**  
DO NOT SCALE THESE DRAWINGS FOR QUANTITIES, LENGTHS, SIZES, AREAS,  
CLEARANCES ETC.

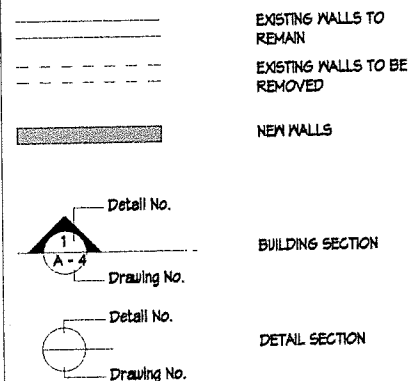
**NOTE #4:**  
IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC. OF THIS SYSTEM.

**NOTE #5:**  
SITE SHALL BE LEFT CLEAN AT THE END OF EACH WORKING DAY. ALL DEBRIS SHALL BE PICKED UP AND PLACED IN CONTAINERS, CONSTRUCTION QUALITY BAGS, DUMPSTER OR OTHER ACCEPTABLE MEANS.

**NOTE #6:**  
ALL CONSTRUCTION DEBRIS SHALL BE PROPERLY DISPOSED OF DURING THE EXTENT OF THE WORK, AND THE SITE SHALL BE LEFT COMPLETELY CLEAN AND FREE OF DEBRIS AT THE END OF THE CONTRACT. ALL DEBRIS SHALL BE PROPERLY DISPOSED OF.

**NOTE #7:**  
THE CONTRACTOR SHALL TEMPORARILY DISCONNECT AND REMOVE ALL EXISTING SERVICES THAT INTERFERE WITH THE PROPER INSTALLATION OF THE NEW CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE ARCHITECT/OWNER OF THESE SERVICES BEFORE DISCONNECTION, REINSTALL AND RECONNECT ALL TEMPORARILY DISCONNECTED AND REMOVED ITEMS TO THE SATISFACTION OF THE OWNER.














**NOTE #8:**  
ALL AREAS DISTURBED OR DAMAGED AS A RESULT OF WORK BEING PERFORMED ARE TO BE PATCHED OR REPLACED TO MATCH ADJACENT SURFACES.



### LIST OF DRAWINGS

- A-0 TITLE PAGE  
A-1 EXISTING FIRST & SECOND FLOOR PLANS  
A-2 EXISTING ELEVATIONS  
A-3 PROPOSED BASEMENT & FIRST FLOOR PLANS  
A-4 PROPOSED SECOND FLOOR PLAN & PROPOSED ELEVATIONS  
A-5 PROPOSED ELEVATIONS  
A-6 ROOF PLAN, SECTION & DETAILS  
A-7 FOUNDATION PLAN, FIRST FLOOR FRAMING PLAN,  
SECTIONS & DETAILS  
A-8 SECOND FLOOR FRAMING PLAN, ROOF FRAMING PLAN & DETAILS

### MATERIAL LEGEND & SYMBOLS

	EARTH
	COMPACTED GRANULAR FILL
	INSULATION
	INSULATION (RIGID)
	CONCRETE
	CONCRETE MASONRY UNITS
	STEEL
	LUMBER (ROUGH)
	LUMBER (FINISHED)
	STONE
	BRICK
	GYPSUM BOARD OR PLASTER
	PLYWOOD

**NOTE**  
MATERIAL SYMBOLS ARE NOT  
ALL NECESSARILY INCLUDED.

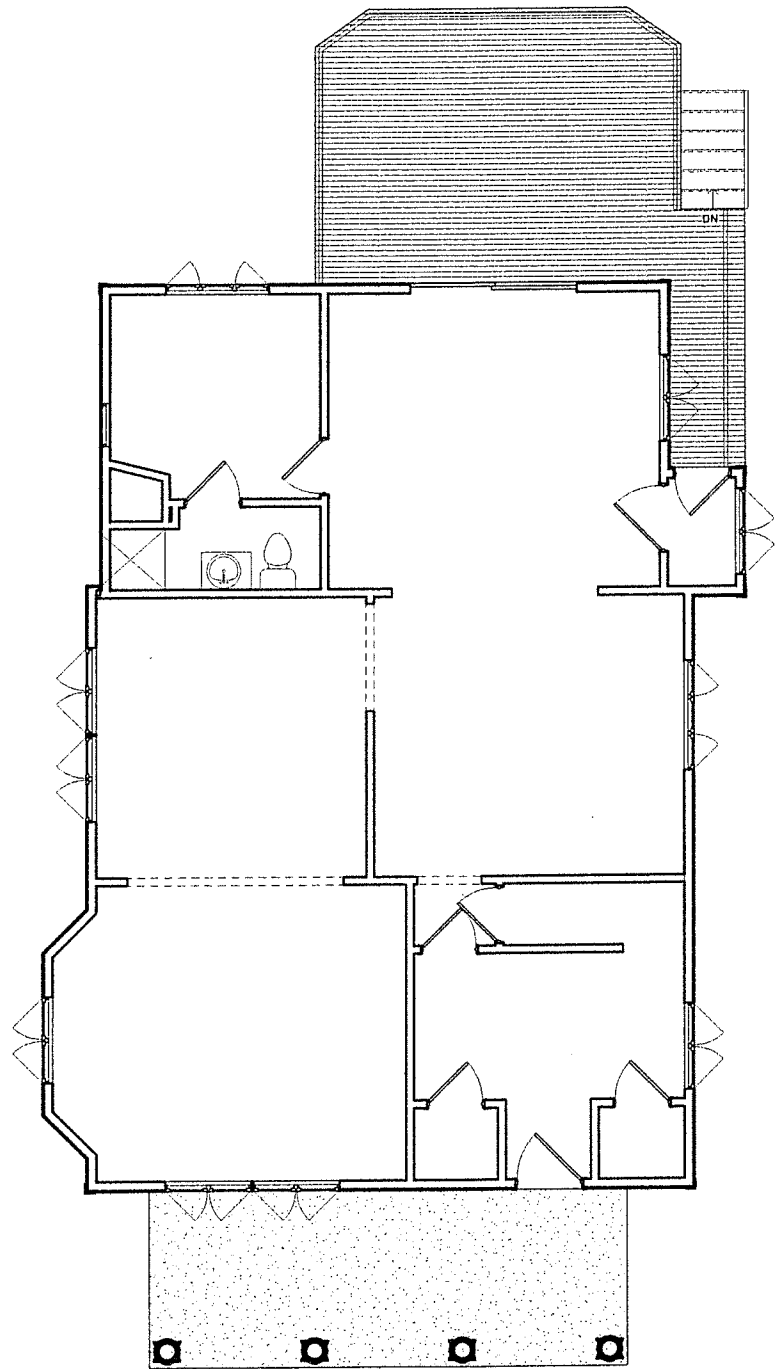
**NOTE:**  
DIMENSIONS TAKEN AT NEW CONSTRUCTION ARE  
TO FACE OF STUD UNLESS OTHERWISE NOTED.  
DIMENSIONS TO EXISTING CONSTRUCTION ARE TO  
EXISTING FINISHES.

**NOTE:**  
ANY MATERIALS SPECIFIED IN THESE DRAWINGS ARE  
NOT TO BE SUBSTITUTED WITHOUT THE AUTHORIZATION  
OF THE ARCHITECT.

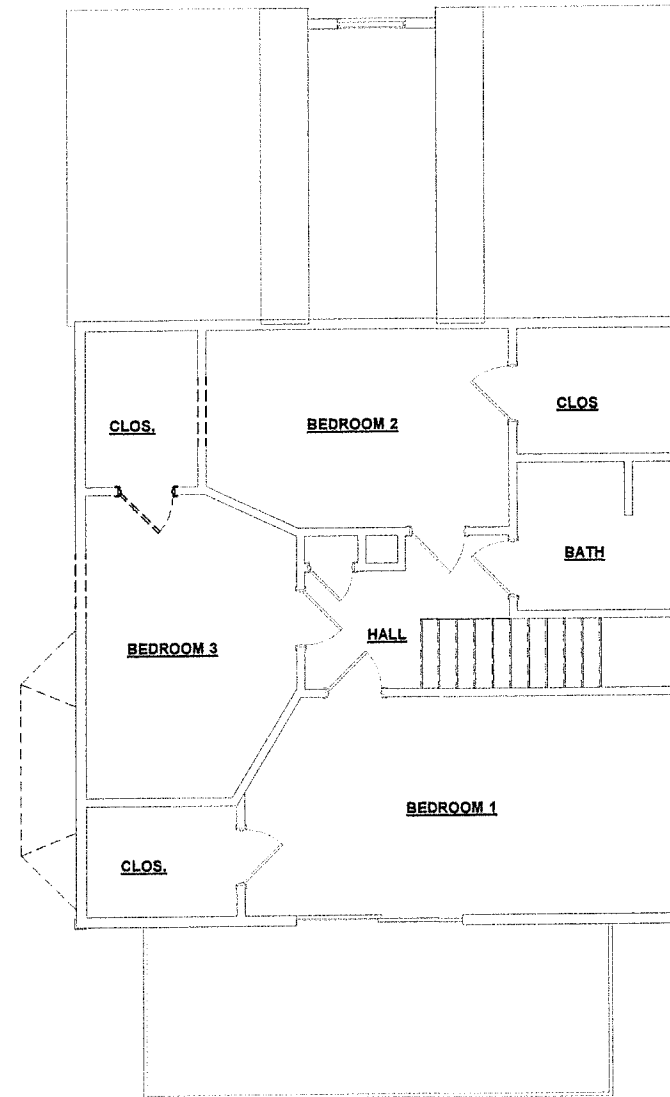
### ABBREVIATIONS

APFL	Above Finished Floor	GL	Glass	STL	Steel
AL	Aluminum	GMB	Gypsum Wall Board	STCR	Storage
BD	Board	HP	Handicapped	SUSP	Suspended
BLDG	Building	HDP	High Density Polymer	T & G	Tongue & groove
CFB	Cement Fiber Board	HR	Hour	THK	Thick
CLS	Ceiling	HT	Height	TYP	Typical
CLR	Clear	INSUL	Insulation/insulated	VCB	Vinyl Cove Base
COL	Column	LT	Light	VIF	Verity In Field
CONG	Concrete	MAX	Maximum	VPB	Veneer Plaster Base
CONSTR	Construction	MECH	Mechanical	WC	Water Closet
CONT	Continuous	MIN	Minimum	WD	Wood
CPT	Carpet	MISC	Miscellaneous	W	With
CT	Ceramic Tile	MO	Masonry Opening	W/O	Without
GTR	Center	N/A	Not Applicable	NT	Height
DET	Detail	NC	Not in Contract		
DIA	Diameter	NTS	Not To Scale		
DISP	Dispenser	OPP	Opposite		
DN	Down	P. LAM	Plastic Laminate		
DWS	Drawing	PL	Plaster		
ELEG	Electric (Electrical)	PTD	Painted		
EQ	Equal	REQ	Required		
ETR	Existing to Remain	RO	Rough Opening		
EXIST	Existing	SM	Similar		
FFL	Finished Floor	SS	Stainless Steel		
GA	Gauge	STD	Standard		

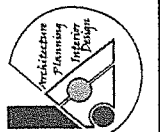




① EXISTING FIRST FLOOR PLAN  
1/4" = 1'-0"



② EXISTING SECOND FLOOR PLAN  
1/4" = 1'-0"



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E-Mail: phil@kritikosarchitects.com  
[www.kritikosarchitects.com](http://www.kritikosarchitects.com)

JOB TITLE # ADDITION & ALTERATIONS  
12 PROSPECT AVENUE  
ARLINGTON, MA 02476  
CLIENT NAME # MS. ALTHEA LOANSHED'S  
JOHN LOANSHED'S  
12 PROSPECT AVENUE  
ARLINGTON, MA 02476

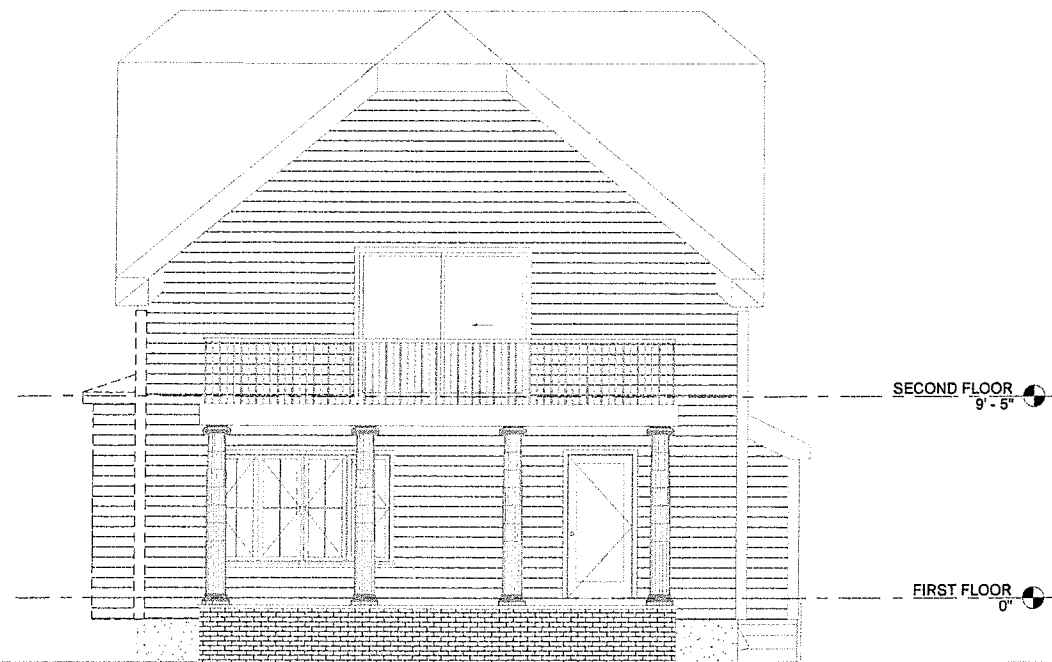
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DRAWING TITLE EXISTING FIRST & SECOND FLOOR PLANS

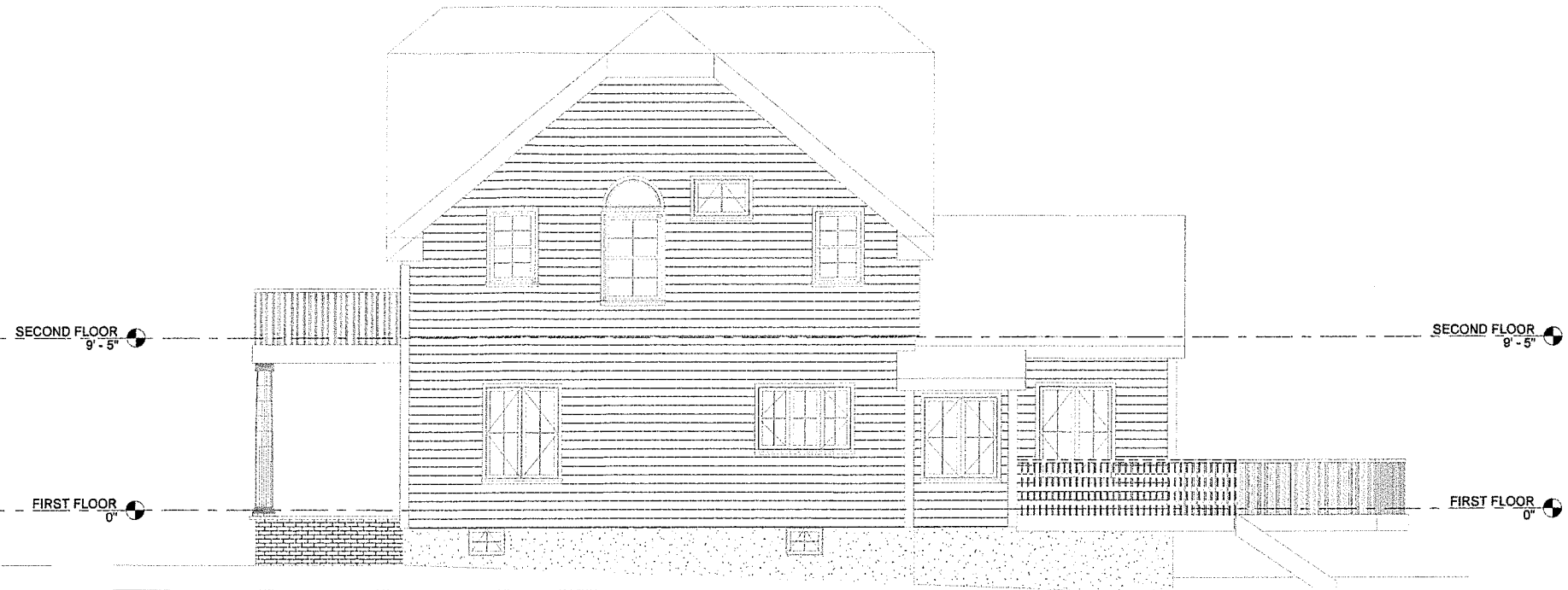
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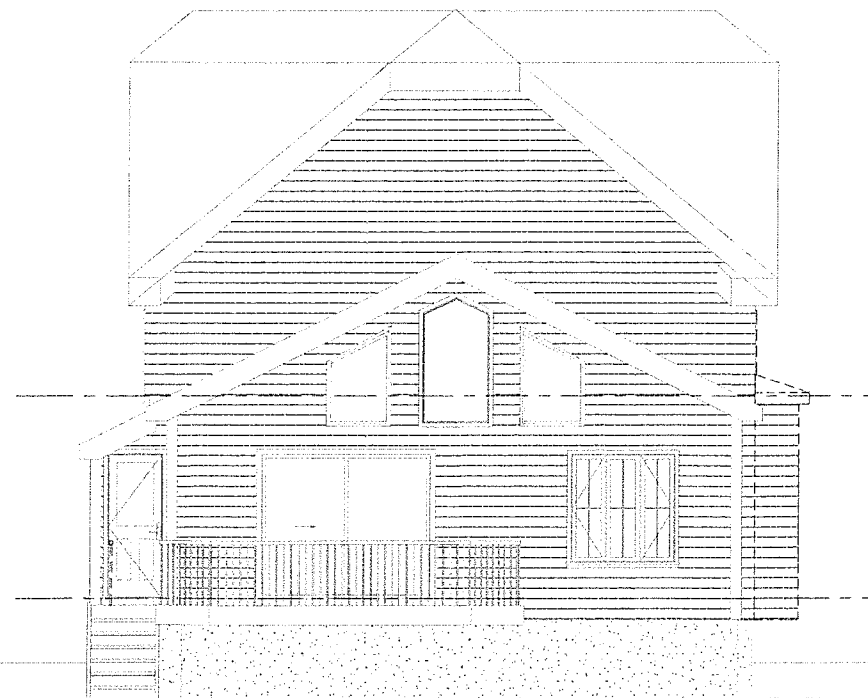
A-1



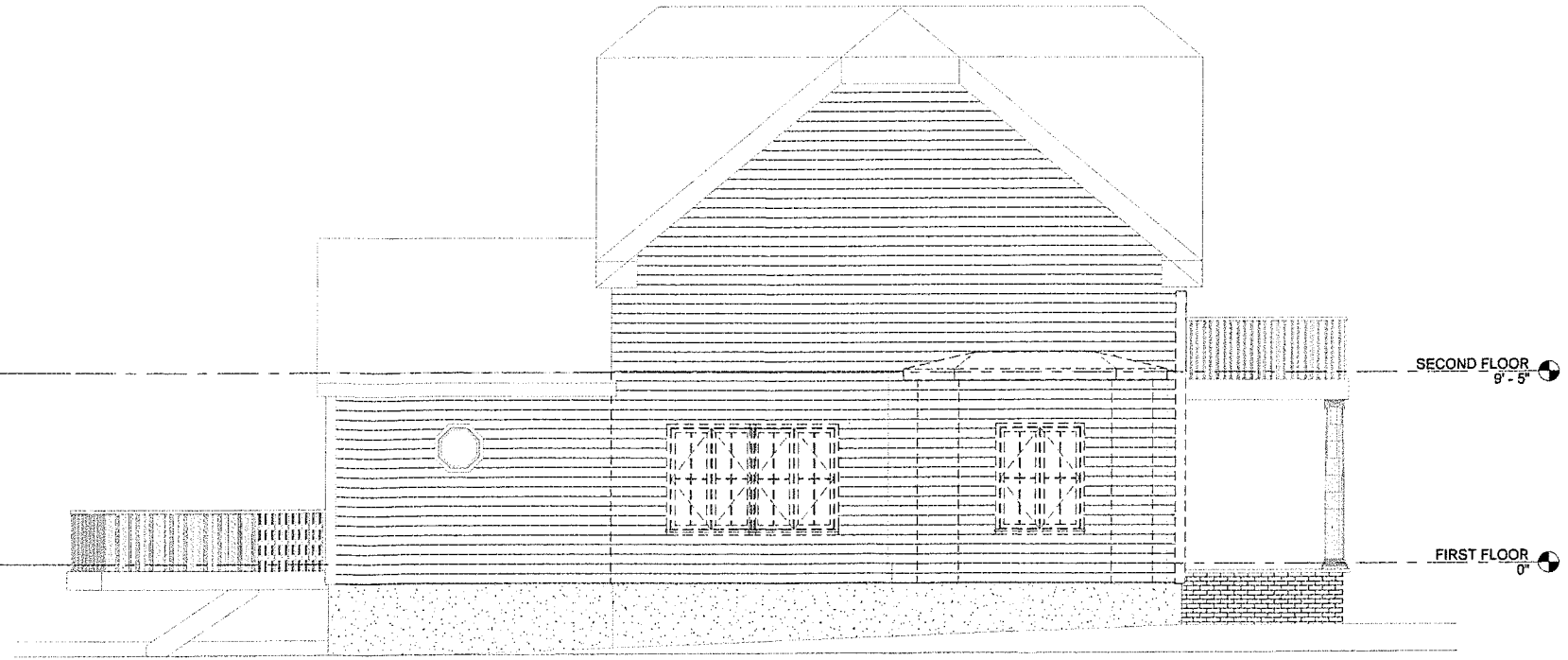
① EXISTING FRONT ELEVATION  
1/4" = 1'-0"



② EXISTING RIGHT ELEVATION  
1/4" = 1'-0"



③ EXISTING REAR ELEVATION  
1/4" = 1'-0"



④ EXISTING LEFT ELEVATION  
1/4" = 1'-0"



DRAWING TITLE: EXISTING ELEVATIONS

DATE: 5-23-2022

SCALE: AS NOTED

DRAWN BY: Author

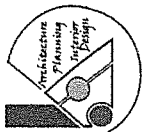
REVISIONS:

JOB TITLE #: ADDITION & ALTERATIONS  
12 PROSPECT AVENUE  
ARLINGTON, MA 02476

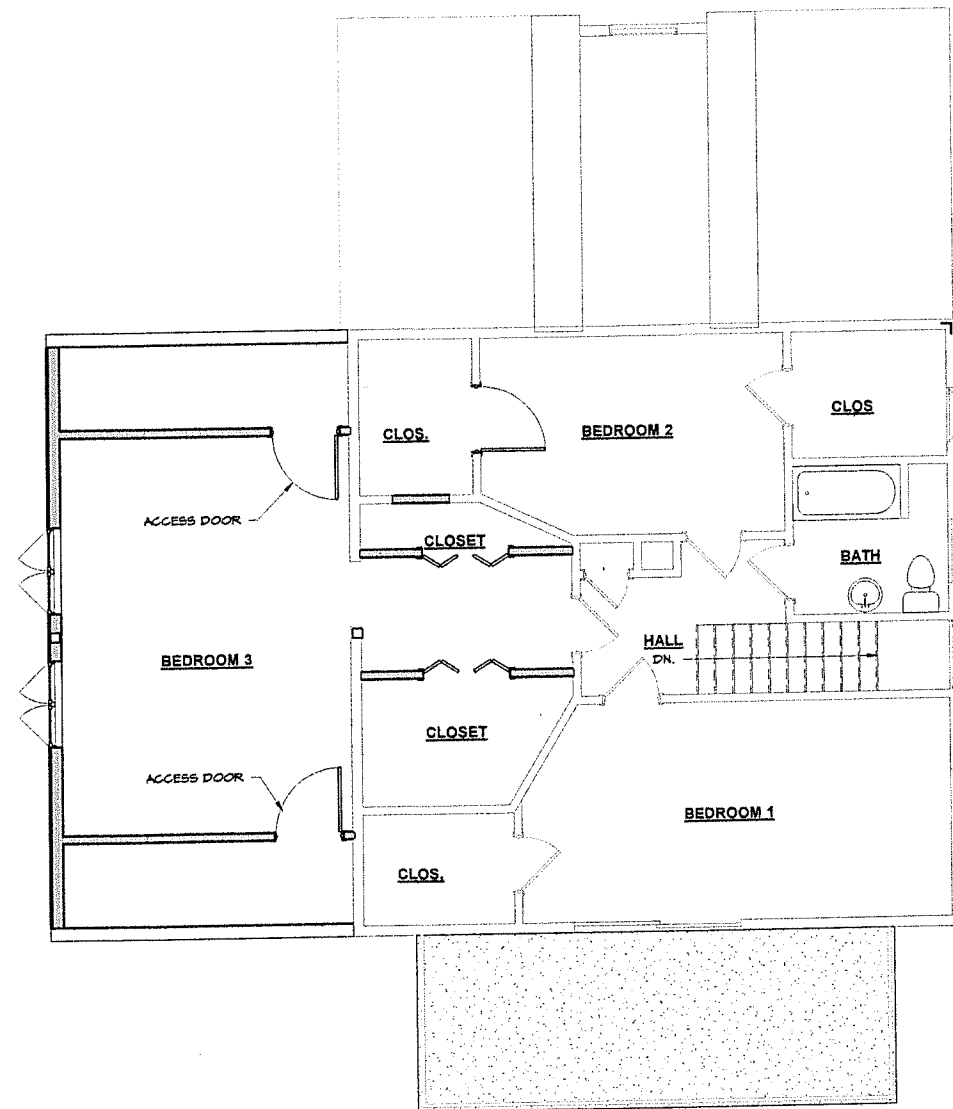
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MR. JOHN IOAKIMIDIS  
12 PROSPECT AVENUE  
ARLINGTON, MA 02476

**KRIKOS ARCHITECTS**

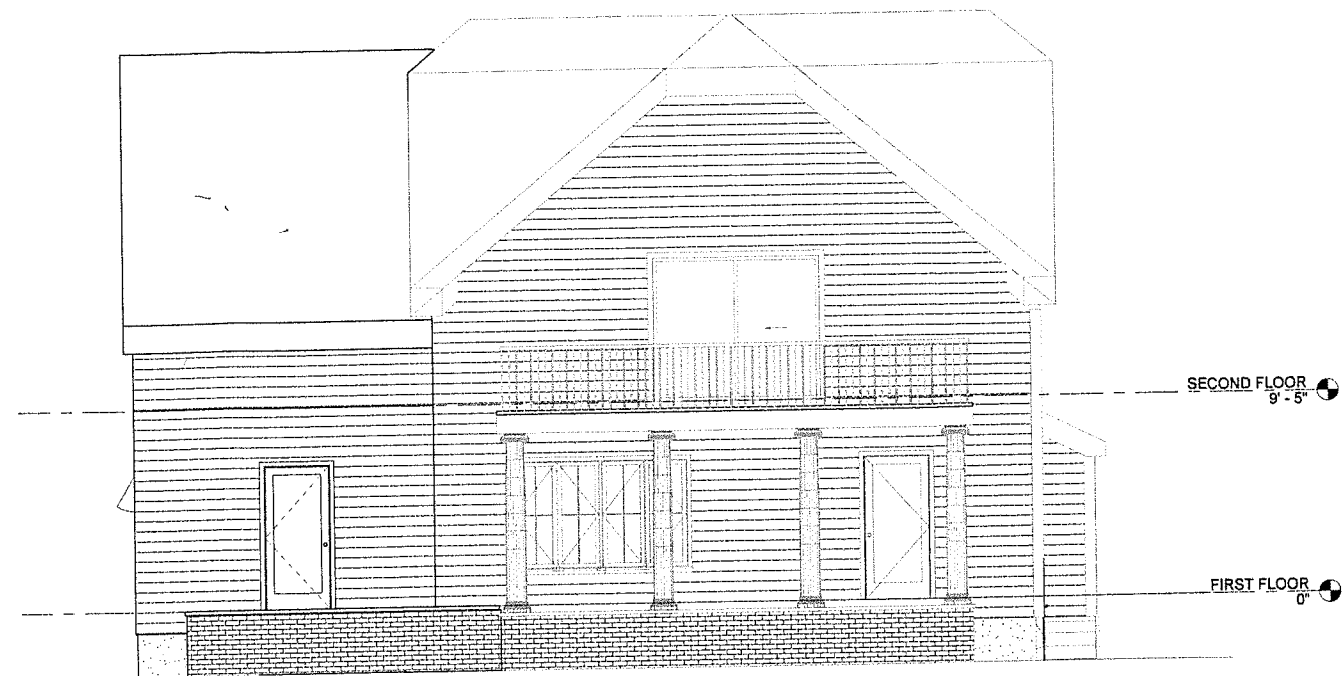
14 Olsen Road Peabody, MA 01960 (978) 531-4164  
E-Mail: phil@kritikosarchitects.com  
www.kritikosarchitects.com



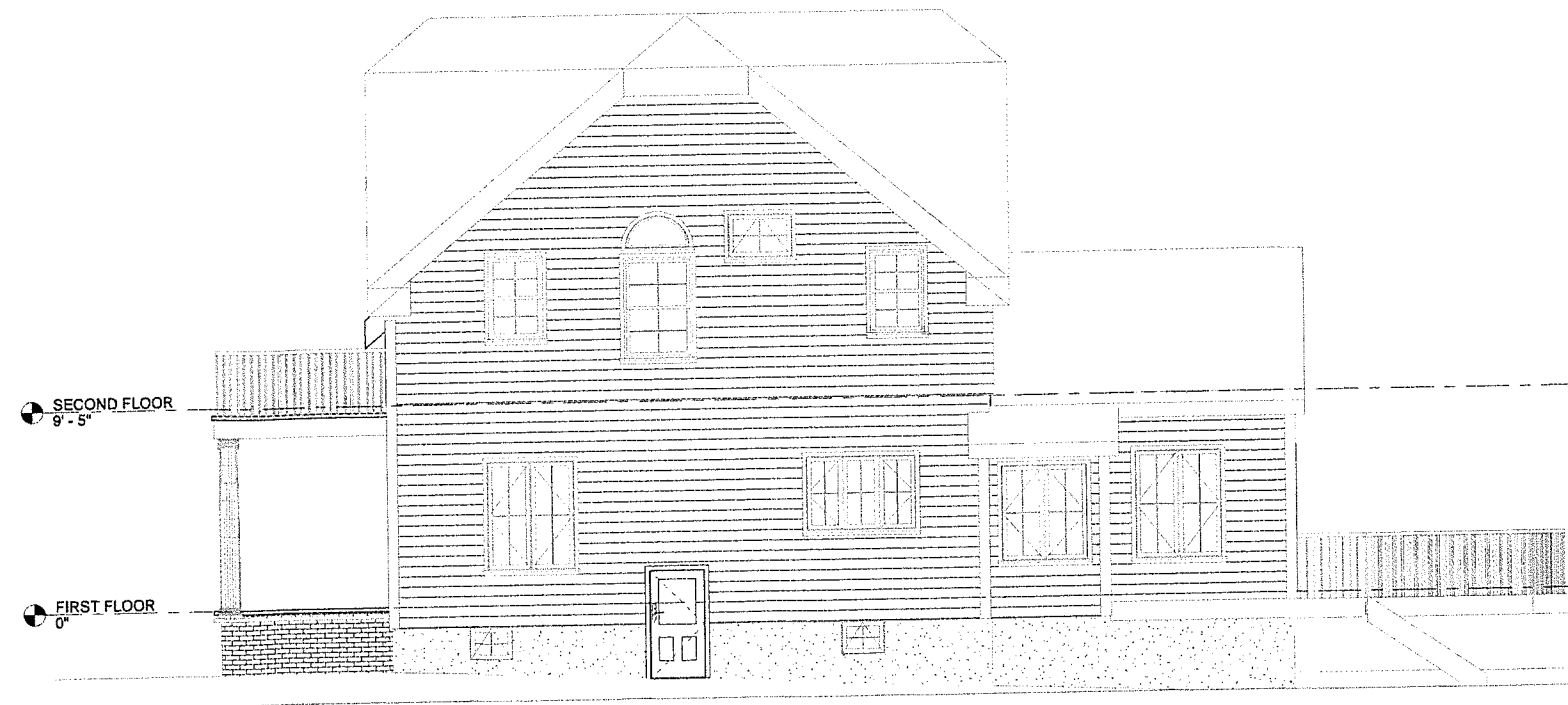




③ PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"



① PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



② PROPOSED RIGHT ELEVATION  
1/4" = 1'-0"

**KRITIKOS ARCHITECTS**

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 E-Mail: phil@kritikosarchitects.com  
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**A-4**

**STAMP:**

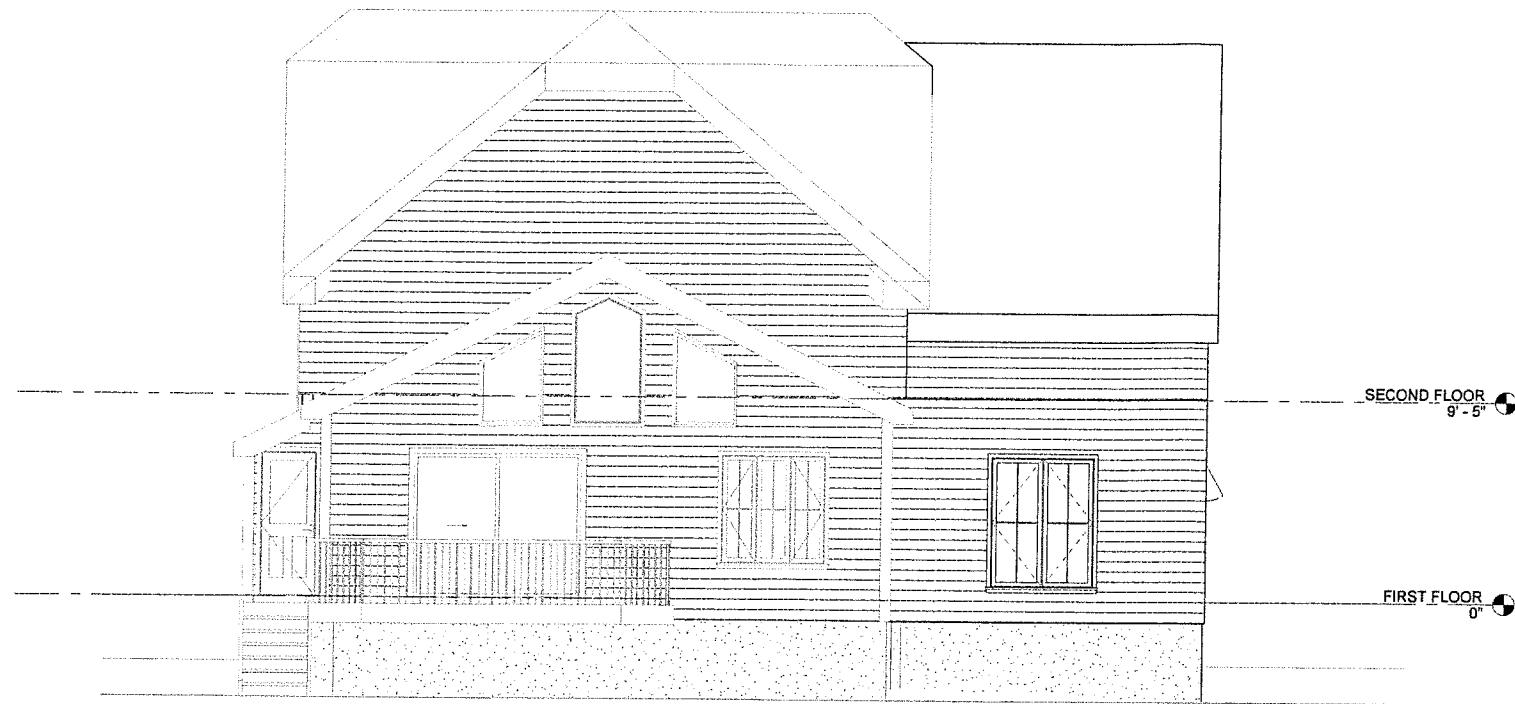
REGISTERED ARCHITECT - MASSACHUSETTS  
 No. 8329  
 FEB 2004  
 MA

**DRAWING TITLE: PROPOSED SECOND FLOOR PLAN & PROPOSED ELEVATIONS**

DATE: 5-25-2022	SCALE: AS NOTED	DRAWN BY: Author	REVISIONS:
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**JOB TITLE #:** ADDITION & ALTERATIONS  
 12 PROSPECT AVENUE  
 ARLINGTON, MA 02476

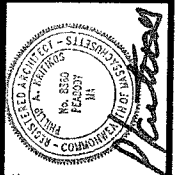
**CLIENT NAME #:** MS. ALTHEA KONKINIS  
 MR. JOHN KONKINIS  
 12 PROSPECT AVENUE  
 ARLINGTON, MA 02476



① PROPOSED REAR ELEVATION  
1/4" = 1'-0"



② PROPOSED LEFT ELEVATION  
1/4" = 1'-0"



STAMP

DRAWING TITLE: PROPOSED ELEVATIONS

DATE: 5-23-2022

SCALE: AS NOTED

DRAWN BY: Author

REVISIONS:

JOB TITLE #: ADDITION & ALTERATIONS  
12 PROSPECT AVENUE  
ARLINGTON, MA 02476

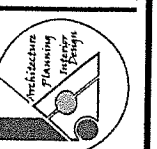
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MR. JOHN KACHIS  
12 PROSPECT AVENUE  
ARLINGTON, MA 02476

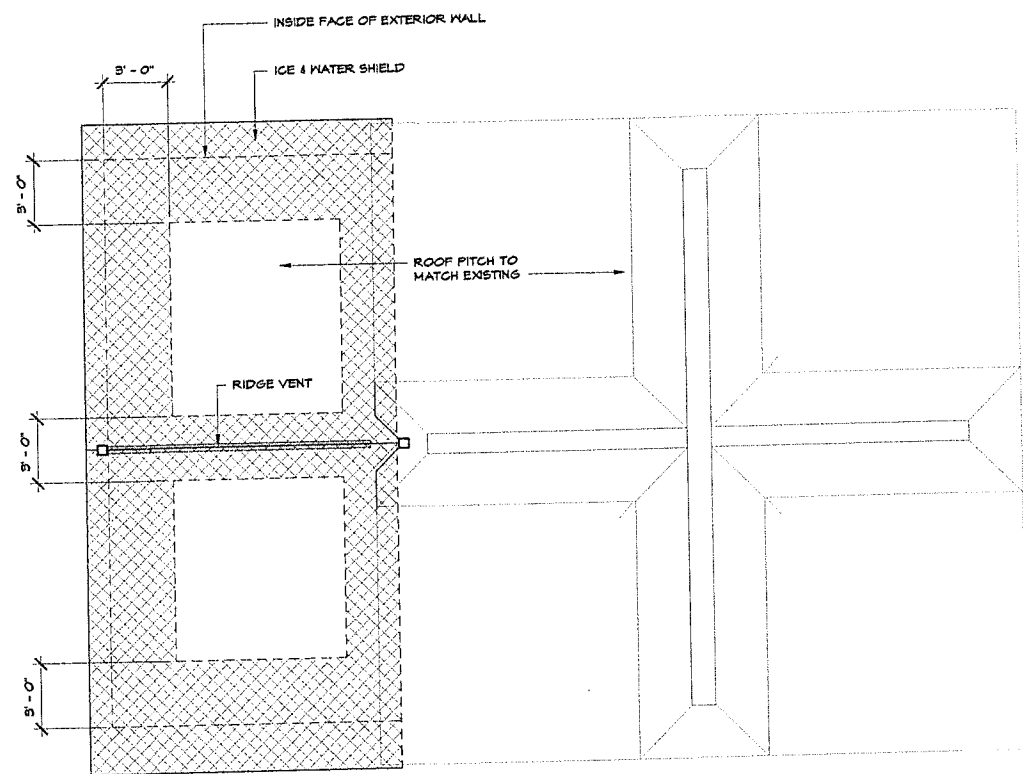
**KRIKOS ARCHITECTS**

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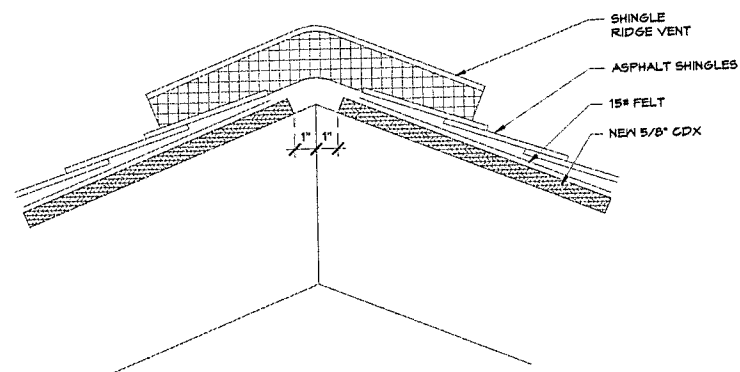
E-Mail: [phi@kritikosarchitects.com](mailto:phi@kritikosarchitects.com)

[www.kritikosarchitects.com](http://www.kritikosarchitects.com)

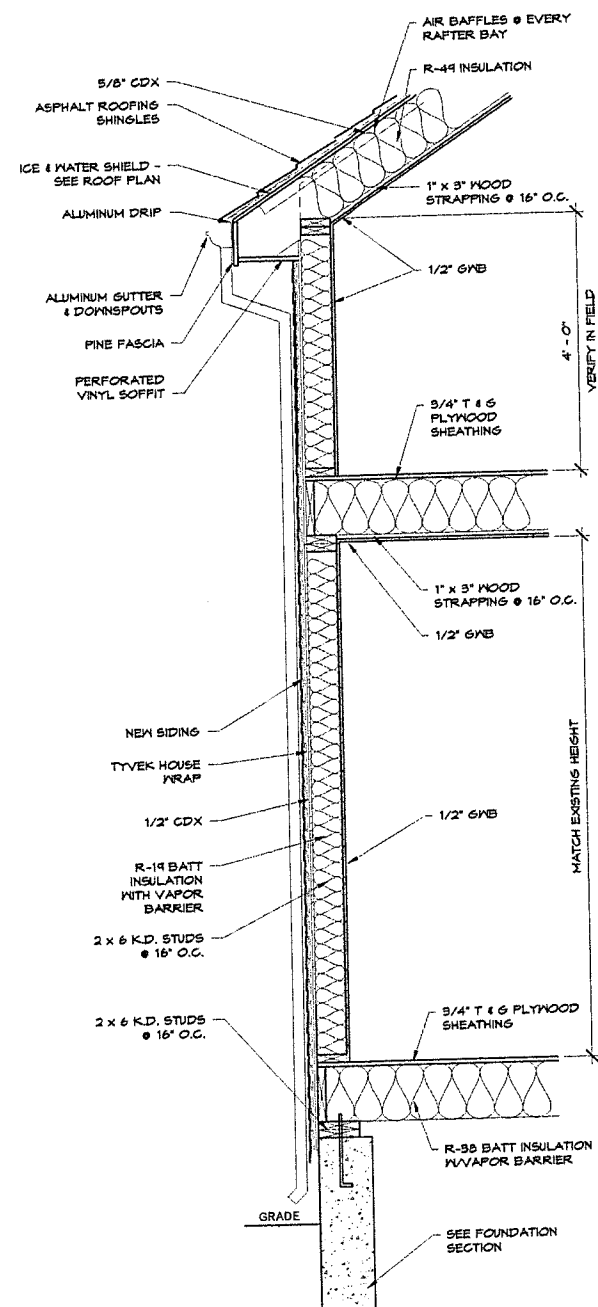




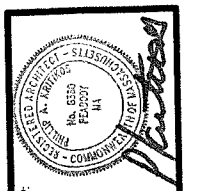
① ROOF PLAN  
1/4" = 1'-0"



② RIDGE VENT  
3" = 1'-0"

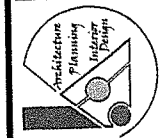


③ WALL SECTION  
3/4" = 1'-0"



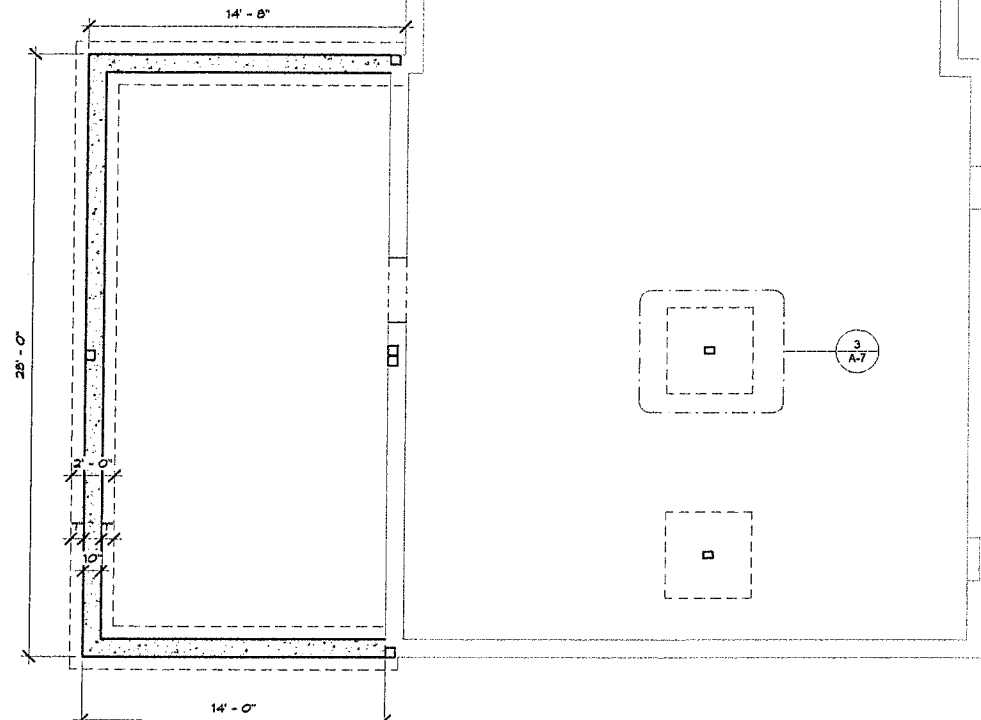
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DATE: 5-23-2022	REVISIONS:
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DRAWN BY: Author	
JOB TITLE: ADDITION & ALTERATIONS 14 OLSEN ROAD, ARLINGTON, MA 02416	
CLIENT NAME: MS. ALTHEA IOAKIMIDIS MR. JOHN IOAKIMIDIS 13 PROSPECT AVENUE ARLINGTON, MA 02416	

**KRITIKOS ARCHITECTS**  
 14 Olsen Road Peabody, MA 01960 (978) 531-4164  
 E-Mail: [phil@kritikosarchitects.com](mailto:phil@kritikosarchitects.com)  
[www.kritikosarchitects.com](http://www.kritikosarchitects.com)

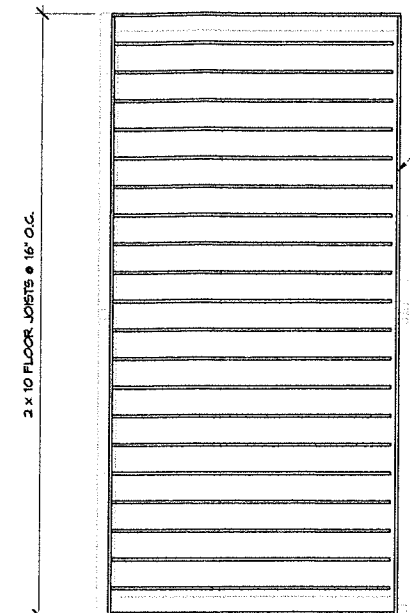


A-6





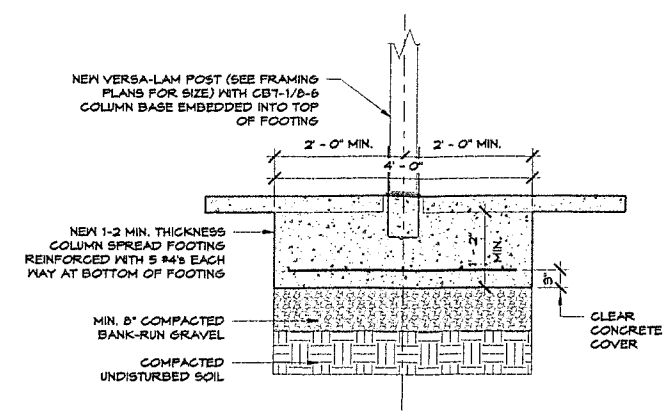
1 FOUNDATION PLAN  
1/4" = 1'-0"



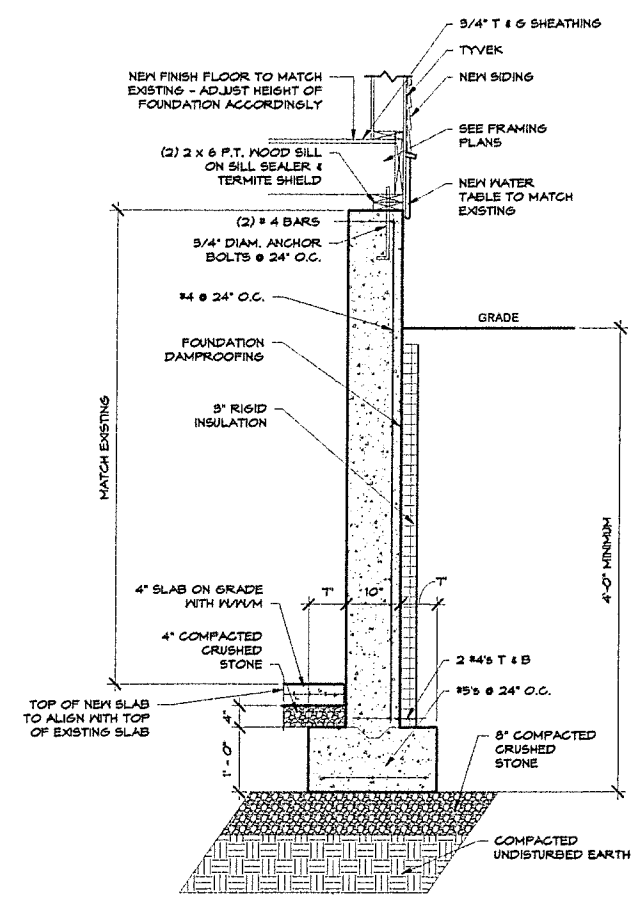
2 FIRST FLOOR FRAMING PLAN  
1/4" = 1'-0"

- NOTE 1**  
ALL CONCRETE WORK SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-11) AND SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301).
- NOTE 2**  
ALL CONCRETE IN FOUNDATIONS AND FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
- NOTE 3**  
ALL CONCRETE SLABS ON GRADE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
- NOTE 4**  
ALL CONCRETE SHALL HAVE BETWEEN 5% TO 7% AIR ENTRAINMENT AND 4" MAX. SLUMP.
- NOTE 5**  
NO CONCRETE SHALL BE CAST IN WATER OR ON FROZEN GROUND.
- NOTE 6**  
BACKFILL AGAINST WALLS SHALL BE PLACED ALTERNATELY ON EACH SIDE IN 12" MAXIMUM LIFTS.
- NOTE 7**  
REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:  
(A) ASTM 615, GRADE 60 FOR DEFORMED BARS (F<sub>y</sub> = 60,000 PSI)  
(B) WELDED WIRE FABRIC (WVF) REINFORCEMENT, ASTM A185
- NOTE 8**  
REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS AS INDICATED ON THE DRAWINGS.
- NOTE 9**  
WELDED WIRE FABRIC SHALL BE LAPPED 6 INCHES OR ONE SPACE, WHICHEVER IS LARGER, AND SHALL BE WIRE TOGETHER.
- NOTE 10**  
ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL AND STATE REGULATIONS AND BUILDING CODES.
- NOTE 11**  
THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY BEFORE PROCEEDING WITH THE WORK.
- NOTE 12**  
THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING & SHORING UNTIL ALL STRUCTURAL WORK IS COMPLETE.
- NOTE 13**  
PROVIDE EXPANSION JOINT FILLER AND SEALANT WHERE FLOOR SLAB ABUTTS WALLS.
- NOTE 14**  
ALL EXTERIOR FOUNDATION WALL CONSTRUCTION SHALL BE CARRIED DOWN TO A MINIMUM DEPTH OF FOUR FEET (4'-0") BELOW FINISHED EXTERIOR GRADE.
- NOTE 15**  
BOTTOM ELEVATION OF FOOTING SHALL BE ADJUSTED IF NECESSARY TO BEAR ON FIRM UNDISTURBED VIRGIN MATERIAL OR ENGINEERED FILL CAPABLE OF SUPPORTING A MIN. SOIL BEARING CAPACITY OF 2,500 PSF.

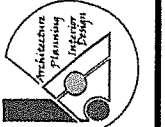
**FRAMING DESIGN & SIZING**  
FRAMING DESIGN & MEMBER SIZES & DETAILS ARE SHOWN AS A MEANS TO PROVIDE BASIC PRICING. LUMBER SUPPLIER OR STRUCTURAL ENGINEER SHALL PROVIDE ACTUAL ENGINEERING NECESSARY



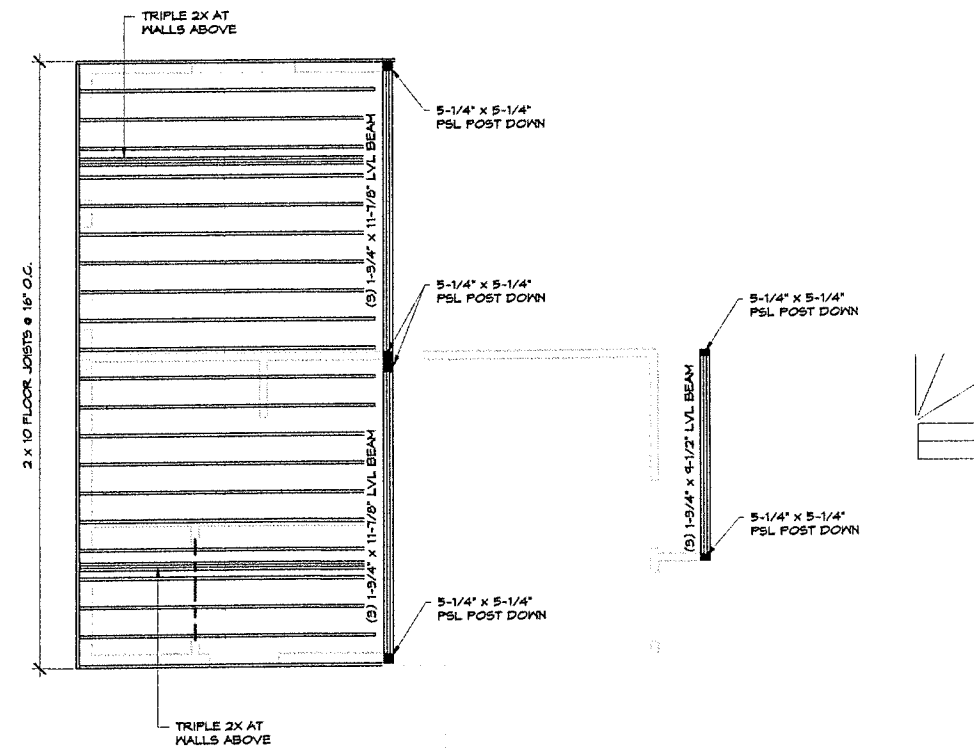
3 FOOTING @ PSL POST  
3/4" = 1'-0"



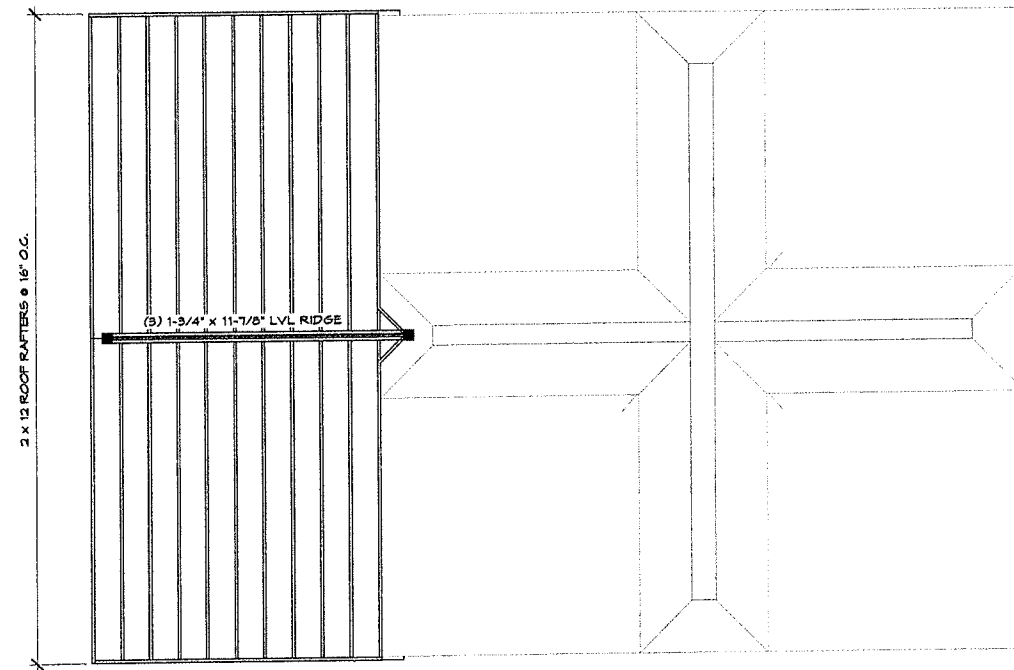
4 FOUNDATION SECTION  
3/4" = 1'-0"

STAMP:	
DRAWING TITLE: FOUNDATION PLAN, FIRST FLOOR FRAMING PLAN, SECTIONS & DETAILS	REVISIONS:
DATE: 5-23-2022	SCALE: AS NOTED
DRAWN BY: Author	Author
JOB TITLE: ADDITION & ALTERATIONS 12 PROSPECT AVENUE ARLINGTON, MA 02476 CLIENT NAME: MR. ALTHEA LOAKHIDIS MR. JOHN LOAKHIDIS 12 PROSPECT AVENUE ARLINGTON, MA 02476	
<b>KRITIKOS ARCHITECTS</b> 14 Olsen Road Peabody, MA 01960 (978) 531-4164 E-Mail: <a href="mailto:phil@kritikosarchitects.com">phil@kritikosarchitects.com</a> <a href="http://www.kritikosarchitects.com">www.kritikosarchitects.com</a>	
	
<b>A-7</b>	

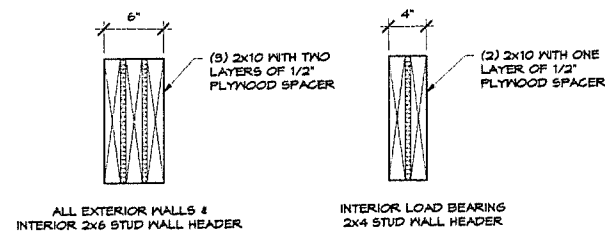
**FRAMING DESIGN & SIZING**  
FRAMING DESIGN & MEMBER SIZES & DETAILS ARE SHOWN AS A MEANS TO PROVIDE BASIC PRICING. LUMBER SUPPLIER OR STRUCTURAL ENGINEER SHALL PROVIDE ACTUAL ENGINEERING NECESSARY



① SECOND FLOOR FRAMING PLAN  
1/4" = 1'-0"

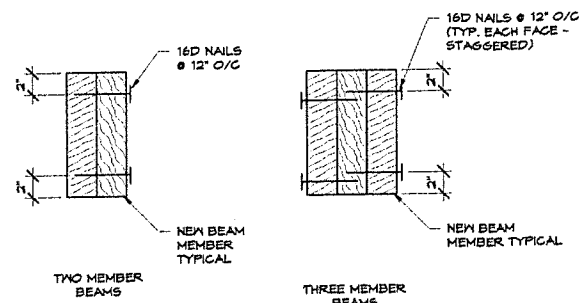


② ROOF FRAMING PLAN  
1/4" = 1'-0"



ABOVE DETAILS ARE TYPICAL AT ALL OPENINGS IN LOAD BEARING/EXTERIOR WALLS UNLESS OTHERWISE NOTED ON FRAMING PLANS

④ TYPICAL HEADERS  
1 1/2" = 1'-0"



⑤ TYPICAL NAILING @ BUILT-UP BEAMS  
1 1/2" = 1'-0"

<b>KRITIKOS ARCHITECTS</b> 14 Olsen Road Peabody, MA 01960 (978) 531-4164 E-Mail: phil@kritikosarchitects.com www.kritikosarchitects.com		JOB TITLE: ADDITION & ALTERATIONS PROJECT: 12 PROSPECT AVENUE ARLINGTON, MA 02476	DATE: 5-23-2022 SCALE: AS NOTED DRAWN BY: Author	DRAWING TITLE: SECOND FLOOR FRAMING PLAN, ROOF FRAMING PLAN, SECTIONS & DETAILS	STAMP:
CLIENT NAME: MS. ALTHEA IOAKIMIDIS MR. JOHN IOAKIMIDIS 12 PROSPECT AVENUE ARLINGTON, MA 02476		REVISIONS:			

PROPOSED LOT COVERAGE=20.7%

$R=1040.50'$   
 $L=180.24'$

PORTION OF LOTS 15 & 16  
 $A=12,188$  S.F.

PROSPECT AVENUE

SB/DH  
(FOUND)

HILLSIDE AVENUE

SPIKE  
(FOUND)

OWNER OF RECORD

JOHN S. IOAKIMIDIS  
ALTHEA S. IOAKIMIDIS  
BOOK 66414 PAGE 200 M.S.R.D.

ZONING DISTRICT

TAX MAP 161 PARCEL 5  
ZONING - R1 SINGLE FAMILY

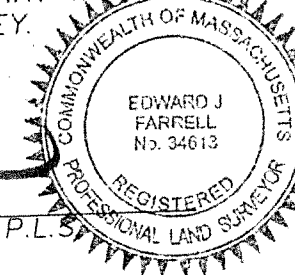
PLAN REFERENCES

PLAN BOOK 21 PLAN 3

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN  
ACTUAL FIELD SURVEY.

*[Signature]*

EDWARD J. FARRELL P.L.S.



5-24-22  
DATE

PLOT PLAN  
12 PROSPECT AVENUE  
ARLINGTON, MASS.  
SCALE: 1" = 20' MAY 24, 2022

Prepared By  
**EDWARD J. FARRELL**  
PROFESSIONAL LAND SURVEYOR  
110 WINN STREET ~ SUITE 203 ~ WOBURN, MA.  
(781)-933-9012



**TOWN OF ARLINGTON**  
DEPARTMENT OF PLANNING and  
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS 02476  
TELEPHONE 781-316-3090

**MEMORANDUM**

To: Zoning Board of Appeals  
From: Kelly Lynema, Acting Director, Dept. of Planning and Community Development  
Marisa Lau, Senior Planner  
Date: 8/4/2022  
RE: Docket 3708 – 12 Prospect Ave; Variance under Zoning Bylaw Section 5.4.2 (Dimensional and Density Requirements)

---

The applicants, John and Althea Ioakimidis, seek a Variance in accordance with Section 5.4.2 (Dimensional and Density Requirements) of the Zoning Bylaw. The applicants propose to construct a two-story addition to a single-family home with an accessible bedroom, bath, mudroom with separate entry and additional living area on both floors. The front porch would also be extended by 14.5 feet. The addition would expand the building footprint into the left side yard and decrease the setback from 25 feet to 8.1 feet (10 feet required). The proposal would result in an increase in square footage from 1,800 to 2,500 square feet (+700 square feet). However, the proposed gross floor area per floor has not provided. Staff notes that if the total increase in square footage is 750 square feet or greater, a Special Permit would be needed for a large addition under Section 5.4.2(B)(6). Under the proposal, lot coverage would increase to approximately 20.7%. Staff also notes this calculation does not include the porch expansion.

The structure is in the R1 zoning district and does not have any existing nonconformities.

The following is an application of the Variance criteria (M.G.L. c. 40 §A.10):

Criterion #1: Soil Conditions, Shape, or Topography

The soil conditions, shape, or topography of the lot do not limit opportunities for expansion in a manner that conforms to the current dimensional requirements.

Criterion #2: Hardship

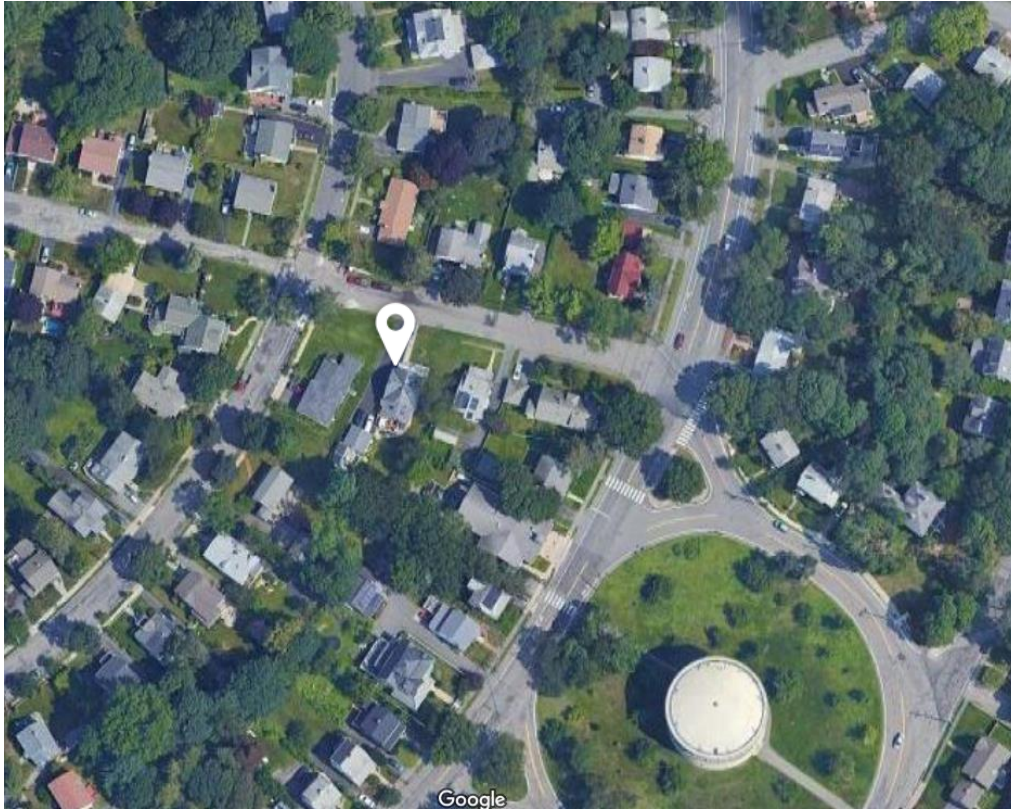
The addition would primarily benefit a family member who uses a wheelchair. Although the angled siting of the house on the lot limits opportunities for expansion into the side yards, it is likely the proposal could be revised to comply with the dimensional requirements. However, substantial modifications to the existing structure may be necessary given the need to construct additional living area that meets accessibility standards, which could be cost prohibitive.

Criterion #3: Without Substantial Detriment to the Public Good

The proposal for the addition would encroach into a portion of the left side yard setback by 1.9 feet, but would otherwise be in character with the abutting homes. This property can accommodate the addition without compromising the public good.

Criterion #4: Without Nullifying or Substantially Derogating From the Intent  
This proposal is consistent with the intent of the R1 Zoning District.

Below are aerial and street-based photos of the current building:







Recommendation:

The Department of Planning and Community Development (DPCD) maintains that this proposal does not meet criterion #1. Additionally, it is unclear whether the proposal meets criterion #2. The DPCD recommends that:

- The Zoning Board of Appeals (ZBA) denies this application or works with the applicant to develop a revised proposal that is consistent with the Zoning Bylaw
- The ZBA requests that the applicant clarify the proposed gross floor area per floor to determine if the applicants need to request a Special Permit for a large addition



## Town of Arlington, Massachusetts

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### Docket # 3709 : 49 Valentine Road

#### ATTACHMENTS:

Type	File Name	Description
▣ Reference Material	Memo_for_Docket_#3709_49_Valentine_Rd.pdf	Memo for Docket # 3709 49 Valentine Road
▣ Reference Material	ZBA_Package__49_Valentine_Road.pdf	ZBA Package, 49 Valentine Road



**TOWN OF ARLINGTON**  
DEPARTMENT OF PLANNING and  
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS 02476  
TELEPHONE 781-316-3090

**MEMORANDUM**

To: Zoning Board of Appeals  
From: Marisa Lau, Senior Planner, Dept. of Planning and Community Development  
Date: 8/24/2022  
RE: Docket 3709 – 49 Valentine Road; Special Permit under Zoning Bylaw 5.4.2.B(6) Districts and Uses (Large Additions)

---

The applicants, Elizabeth and Brian Crowley, seek a Special Permit in accordance with Section 5.4.2.B(6) Districts and Uses (Large Additions) of the Zoning Bylaw. The applicant seeks to construct a two-story addition in the rear of their single-family home and a front dormer for additional living space. The addition would increase the total square footage from 1,943 SF to 2,825 SF (+882 SF). Under the proposal the lot coverage would increase from 14% to 21% (+7%).

The existing structure is in the R1 Zoning District and is nonconforming with the Zoning Bylaw's left side yard requirements. The proposed addition would extend the building footprint approximately 17.5 feet into the rear yard. This proposed change reduces the overall usable open space. The addition would not increase any nonconformities of the existing structure.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted through a Special Permit in the R1 zoning district.

Criterion #2: Public Convenience/Welfare

This proposal would provide additional living space. The Board can find that this condition is met.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety. The Board can find that this condition is met.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems. The Board can find that this condition is met.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.



Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

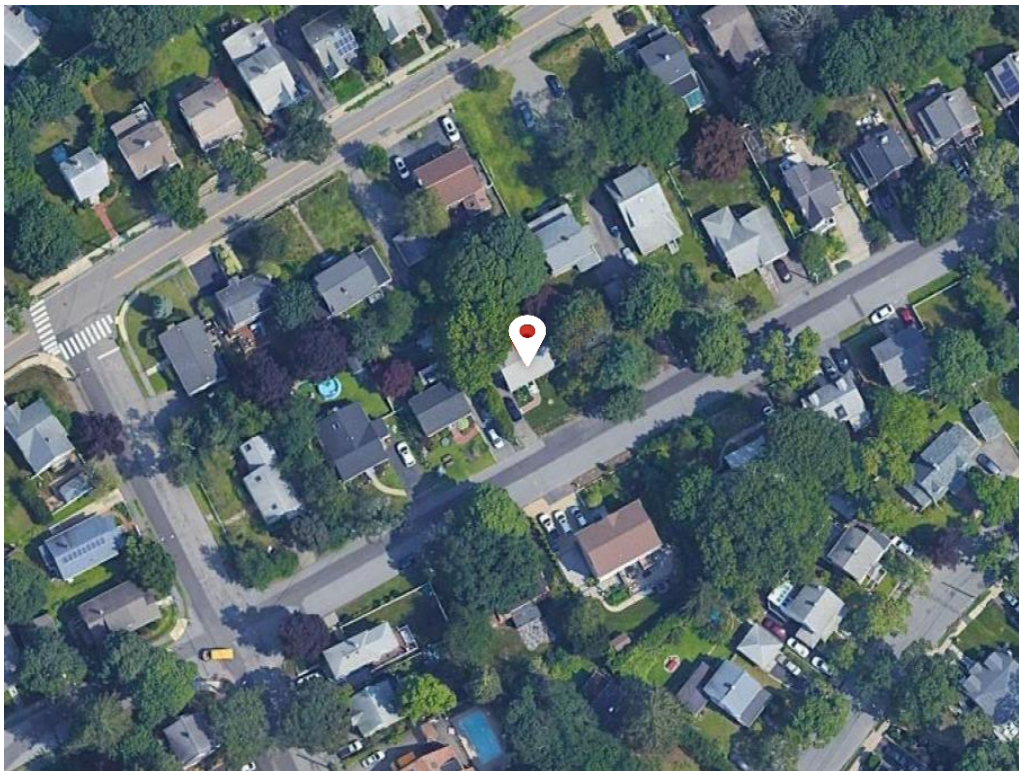
Homes in the vicinity of the property include a range of architectural styles, typically Capes, Colonial-Revivals, and Bungalows. Gable dormers are a common feature in the surrounding neighborhood, while other dormer types are less prevalent on Valentine Road and adjacent streets.

Consistent with the Residential Design Guidelines, the proposed design will add visual interest to the front of the structure. The combined shed dormer flanked by gable dormers is well-proportioned for the façade, and does not interrupt the existing streetscape pattern. The rear addition is also designed to complement the scale and style of the existing structure and adjacent homes in the neighborhood.<sup>1</sup> However, the applicant is encouraged to explore the potential for minor adjustments to the location of the proposed doors and windows to better align these elements on adjacent floors and establish a pattern of spacing. Overall, this proposal would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

There would not be any detrimental excesses.

Below are aerial and street-based photos of the current building:



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<sup>1</sup> Residential Design Guidelines, Principles A-1, A-2, B-1, B-3 and C-1  
<https://www.arlingtonma.gov/home/showpublisheddocument?id=54518>



Recommendation:

The Department of Planning and Community Development (DPCD) maintains that the proposal is consistent with the Special Permit criteria and recommends that the Zoning Board of Appeals approve this application.

Related Dockets:

- #3699: 68 Brantwood Rd – Applicant sought a special permit to create a large addition of 2,028 square feet to their single-family home citing a desire to update and modernize their childhood home for their family. Approved 6/14/22.
- #3688: 44 Edmund Rd – Applicant sought a special permit to create a large addition of 776 square feet to their single-family home citing a desire to make it more comfortable for a growing family. Approved 5/24/22.
- #3656: 53 Pine Ridge Rd – Applicant sought a special permit to create a large addition of 1,822 square feet to their single-family home, citing a desire to expand, improve, and update it as a residence for their growing family long into the future. Approved on 5/11/21.



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

TOWN CLERK'S OFFICE  
ARLINGTON, MA 02476  
2022 JUL 28 PM 4:07

RECEIVED

### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Elizabeth and Brian Crowley** of Arlington, MA. On July 15, 2022, a petition seeking permission to alter their property located at **49 Valentine Road- Block Plan 178.0-0002-0007B** Said petition would require a Special Permit under **Section 5.4.2B(6) Districts and Uses** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening August 30, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard.** To join the meeting, please register using the following URL:  
[https://town-arlington-ma-us.zoom.us/join/tZ0udu6hrz4iEtcR\\_6s\\_2r9eZiaorRASqBMh](https://town-arlington-ma-us.zoom.us/join/tZ0udu6hrz4iEtcR_6s_2r9eZiaorRASqBMh)

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at [www.arlingtonma.gov/zba](http://www.arlingtonma.gov/zba).**

**DOCKET NO 3709**

**Zoning Board of Appeals**  
**Christian Klein, RA, Chair**

Please direct any questions to: **[ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)**

**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**


In the matter of the Application of Elizabeth and Brian Crowley of 49 Valentine Road  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

Section 5. 4. 2. B. (6) Large Additions. Seeking approval for addition larger than 750 SF to  
a pre-existing non-conforming structure. Existing non-conformity includes left side-yard set b  
ack

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at  
49 Valentine Road with respect to such relief is sought; that no unfavorable action  
has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within  
the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full  
compliance with any and all conditions and qualifications imposed upon this permission, whether by  
the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant  
represents that the grounds for the relief sought are as follows:

Proposed rear addition represents 45% of the building's gross floor area, is in harmony  
with neighboring structures and in compliance with the principles in Section 2 of the  
Residential Design Guidelines. Proposed addition does not increase existing non-conformity  
nor add new non-conformities and will not be visible from the front of the home.

E-Mail: elizabethcrowley36@gmail.com Signed:  Date: 7/12/2022  
Telephone: 617-797-8659 Address: 49 Valentine Road, Arlington MA



**Special Permit Criteria:** Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board’s determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*

N/A

C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

N/A

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

N/A

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

N/A

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

N/A

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

N/A

**TOWN OF ARLINGTON**  
 Dimensional and Parking Information  
 For Applications to the Zoning Board of Appeals

1. Property Location: 49 Valentine Road, Arlington Zoning District: R1

2. Present Use/Occupancy: Single Family No. of dwelling units 1

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
1,943 Sq. Ft.

4. Proposed Use/Occupancy: Single Family No. of dwelling units 1

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
2,825 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	6,100	no change	min. 6,000
7. Frontage (Ft.)	61	no change	min. 60
8. Floor area ratio	.32	.46	max. —
9. Lot Coverage ( %)	14	21	max 35
10. Lot Area per Dwelling Unit (Sq. Ft.)	N/A	N/A	min. N/A
11. Front Yard Depth (Ft.)	25.4'	no change	min. 25'
12. Left Side Yard Depth (Ft.)	7.1'	no change	min. 10'
13. Right Side Yard Depth (Ft.)	17.5'	no change	min. 10'
14. Rear Yard Depth (Ft.)	50.2'	32.4'	min. 20'
15. Height (Stories)	2	no change	max. 2.5
16. Height (Ft.)	23.5'	no change	max. 35'
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	4,586	4,084	
17A. Landscaped Open Space (% of GFA)	75	70	min.
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.			
18A. Usable Open Space (% of GFA)			min.
19. Number of Parking Spaces	2	no change	min.
20. Parking area setbacks (if applicable)			min.
21. Number of Loading Spaces (if applicable)			min.
22. Type of construction			N/A
23. Slope of proposed roof(s) (in. per ft.)			min.



**TOWN OF ARLINGTON**  
Open Space / Gross Floor Area Information  
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 49 Valentine Road, Arlington      Zoning District: R1

<u>OPEN SPACE*</u>	EXISTING	PROPOSED
Total lot area	<u>6100</u>	<u>6100</u>
Open Space, Usable	<u>                    </u>	<u>                    </u>
Open Space, Landscaped	<u>                    </u>	<u>                    </u>

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

<u>GROSS FLOOR AREA (GFA) †</u>		
Accessory Building	<u>N/A</u>	<u>N/A</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>585</u>	<u>585</u>
1 <sup>st</sup> Floor	<u>808</u>	<u>1262</u>
2 <sup>nd</sup> Floor	<u>550</u>	<u>978</u>
3 <sup>rd</sup> Floor	<u>N/A</u>	<u>N/A</u>
4 <sup>th</sup> Floor	<u>N/A</u>	<u>N/A</u>
5 <sup>th</sup> Floor	<u>                    </u>	<u>N/A</u>
Attic (greater than 7’-0” in height, excluding elevator machinery, or mechanical equipment)	<u>0</u>	<u>0</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>0</u>	<u>0</u>
All weather habitable porches and balconies	<u>0</u>	<u>0</u>
<b>Total Gross Floor Area (GFA)</b>	<u>1943</u>	<u>2825</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

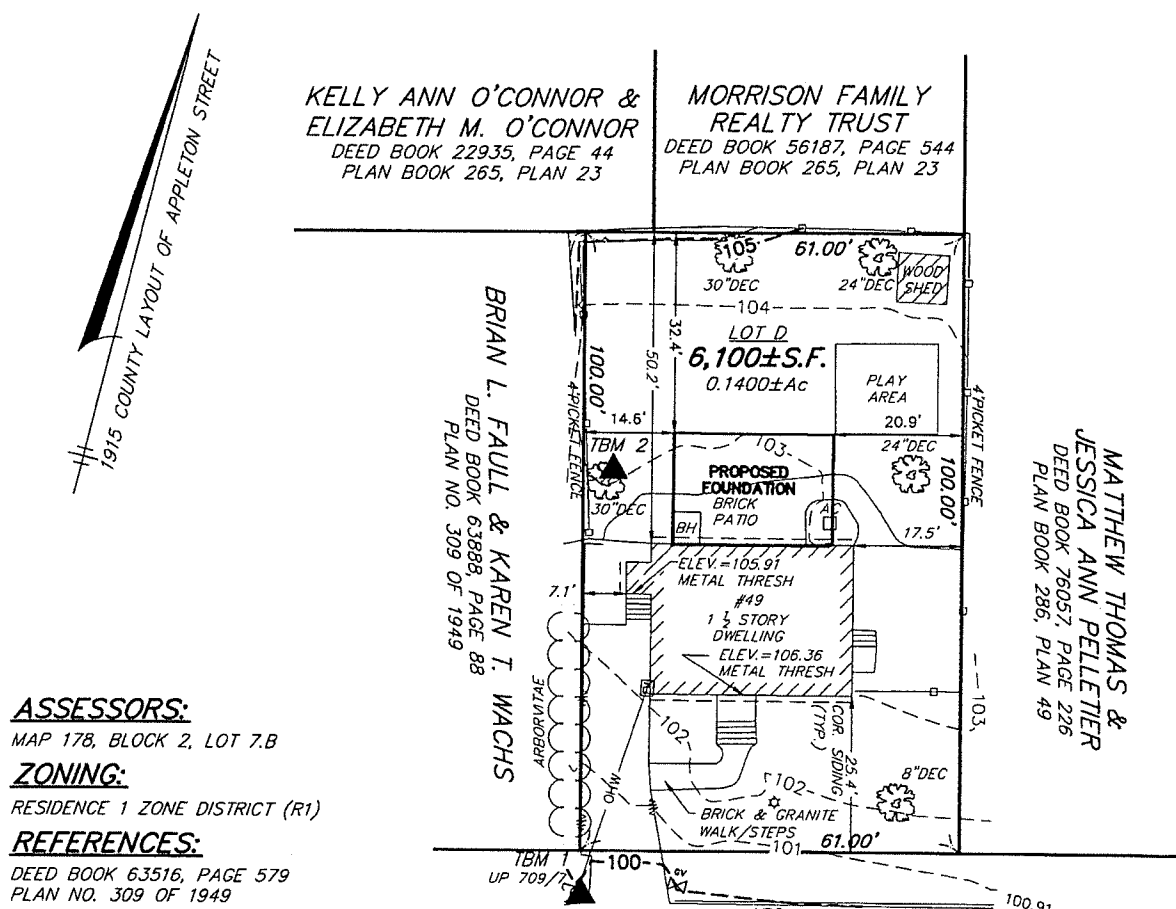
<u>REQUIRED MINIMUM OPEN SPACE AREA</u>		
Landscaped Open Space (Sq. Ft.)	<u>                    </u>	<u>                    </u>
Landscaped Open Space (% of GFA)	<u>                    </u>	<u>                    </u>
Usable Open Space (Sq. Ft.)	<u>                    </u>	<u>                    </u>
Usable Open Space (% of GFA)	<u>                    </u>	<u>                    </u>

This worksheet applies to plans dated 7/11/2022 designed by InkStone Architects

\_\_\_\_\_

Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_





**ASSESSORS:**

MAP 178, BLOCK 2, LOT 7.B

**ZONING:**

RESIDENCE 1 ZONE DISTRICT (R1)

**REFERENCES:**

DEED BOOK 63516, PAGE 579  
PLAN NO. 309 OF 1949

**RECORD OWNER:**

BRIAN AND ELIZABETH CROWLEY

**NOTES:**

1) ELEVATIONS SHOWN HEREON REFER TO AN ASSUMED DATUM.

2) LOT D AS SHOWN HEREON IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, OR OTHER FLOOD AREA, AS SHOWN ON FEMA NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 25017C0412E, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.

3) THE LOCATION OF UNDERGROUND UTILITIES WAS NOT INCLUDED IN THE SCOPE OF THIS SURVEY. UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

4) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY HANCOCK ASSOCIATES ON NOVEMBER 23, 2021.

5) EXISTING LOT COVERAGE BY BUILDINGS IS 873±SF (14%). PROPOSED LOT COVERAGE BY BUILDINGS IS 1328±SF (22%).

6) EXISTING BUILDING HEIGHT ABOVE AVERAGE FINISHED GRADE IS 23.3'. PROPOSED HEIGHT OF ADDITION NOT TO EXCEED EXISTING BUILDING HEIGHT.

**LEGEND**

- 102--- SURFACE CONTOUR
- EDGE OF PAVEMENT
- 86.75 CURB WITH TOP AND BOTTOM CURB ELEVATION
- UP 709/7 86.25
- OHW --- EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES
- x 100.7 SPOT ELEVATION
- 24" DEC PROMINENT DECIDUOUS TREE WITH SIZE
- ☆ LIGHT POLE
- ☆ GAS VALVE
- EM ELECTRIC METER
- VBC VERTICAL BITUMINOUS CURB
- AC AIR CONDITIONER

**ELEVATION BENCH MARKS**

NO.	DESCRIPTION	ELEV.
1	UTILITY POLE 709/7 - CUT SPIKE SET 1' AG	100.73'
2	30" DEC TREE - CUT SPIKE SET 1' AG	104.22'



PROFESSIONAL LAND SURVEYOR

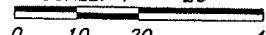
**PLOT PLAN  
OF LAND**

49 VALENTINE ROAD, ARLINGTON, MASS.  
PREPARED FOR: ELIZABETH CROWLEY

**HANCOCK**

Survey Associates, Inc.  
34 CHELMSFORD ST., CHELMSFORD, MA 01824  
VOICE (978) 244-0110, FAX (978) 244-1133

SCALE: 1" = 20'



CHK. BY:

GCG

DATE:

6/23/22

JOB NO.

2561736



Elisabeth and Brian Crowley Residence  
49 Valentine Road, Arlington, MA

OWNER: Elisabeth and Brian Crowley

ARCHITECT: InkStone Architects, LLC  
18 Main Street, 3b  
Concord, MA 01742  
  
Eve Isenberg  
617.899.6351  
eve@inkstonearchitects.com

CONTRACTOR: Dylan James  
  
Patriot Custom Homes  
Burlington MA  
781-248-1234  
djames@patriotch.com

STRUCTURAL: Cate Waltman  
  
Waltman Structural  
32A Fairmont Street  
Arlington, MA  
971-344-7124  
cate.waltman@gmail.com

Special Permit Application

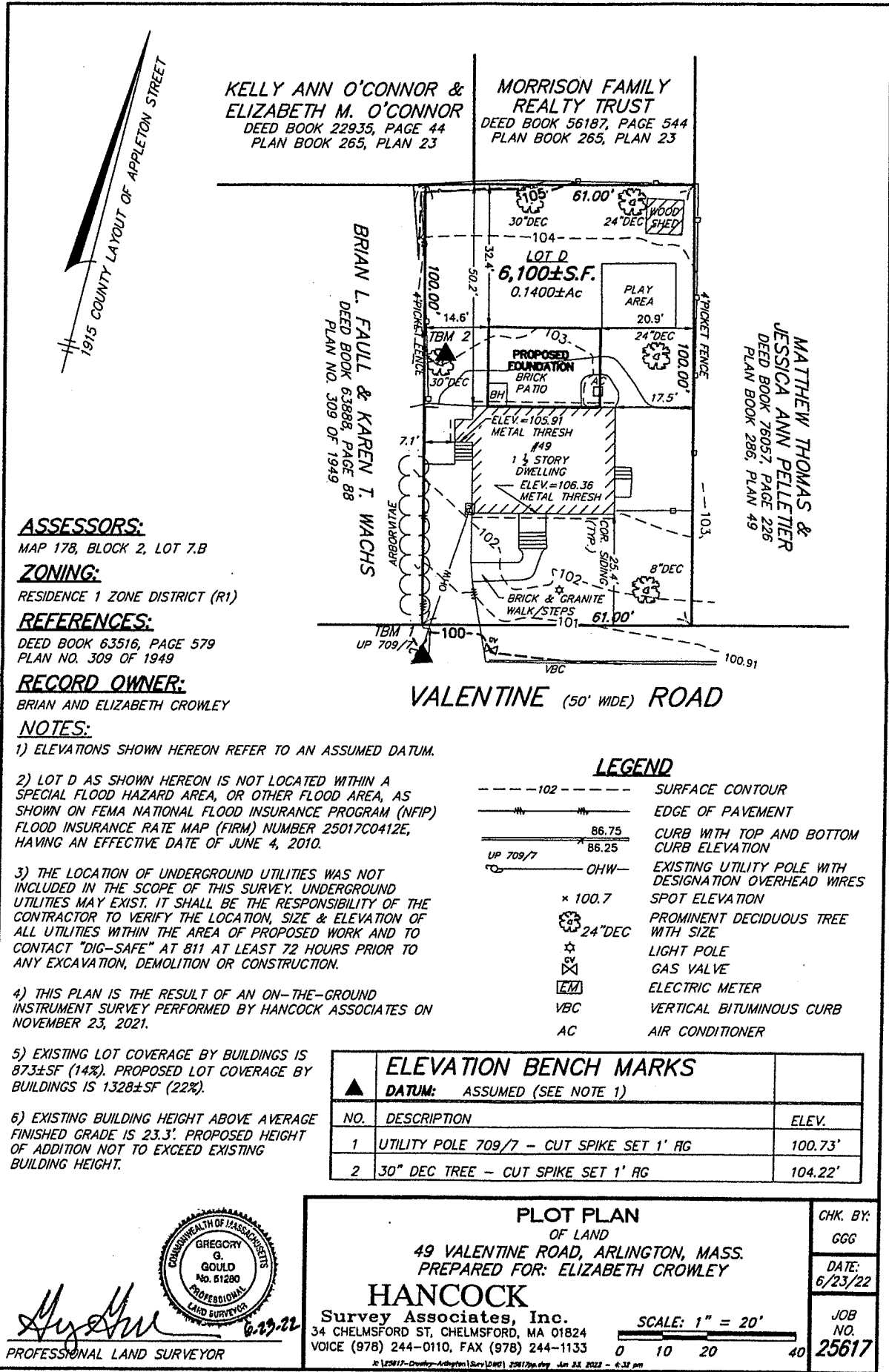
ISSUED: JULY 11, 2022

SHEET INDEX:

T1	Title Page, General Notes, Survey
A01	Site Plan, Existing Photographs, Proposed Model
A02	Existing Floor Plans and Roof Plan
A03	Existing Exterior Elevations
A04	Proposed Basement and First Floor Plan
A05	Proposed Second and Roof Plan
A06	Proposed Exterior Elevations
A07	Proposed Building Section
E1	Proposed Electrical Plans and Schedules
S0-S5	Structural Plans

Wall Legend

	existing concrete foundation wall
	new concrete foundation wall
	existing framed 2 x 4 wall
	new framed 2 x 4 wall
	demolished wall



DEFINITIONS

SUPPLY - Item is acquired and brought to the site

INSTALL - Item is set up for use or service

PROVIDE - Item shall be supplied and installed to the manufacturer specifications.

GENERAL REQUIREMENTS

A. GENERAL

- THE DOCUMENTS ARE COMPLEMENTARY What is called for on any sheet will be binding as if called for on all sheets. In the case of duplicate requirements, the more stringent requirement governs.

- ADDITIONAL DRAWINGS The character and scope of work are illustrated by the drawings listed in the sheet index. Any additional detail drawings required to interpret and explain the drawings and other information deemed necessary will be furnished by the Architect to the Contractor upon request and with approval of the Owner.

- REGULATORY COMPLIANCE Work shall comply with the Zoning Bylaws of the Town, the Massachusetts State Building Codes and local fire codes, and the International Residential Code.

- PERMITS All building permits and filing fees connected with this work shall be secured by the General Contractor.

- DIMENSIONS Unless otherwise notes all dimensions for partitions are from finish to finish.

B. CONTRACTOR'S RESPONSIBILITY

- GENERAL Unless otherwise noted, the Contractor will provide all new work including blocking or preparatory work required.

- SUBCONTRACTORS AND EMPLOYEES Work is to be completed by workers competent in the task at hand and possessing licenses where required by law. d products supplied by owner or Contractor and to notify supplier of damage.

- TRANSPORTATION AND HANDLING Per product manufacturer's recommendations. Deliver all material to jobsite in new, factory sealed, unopened containers.

- STORAGE AND PROTECTION Per product manufacturer's or industry standards. Protect all installed materials until the Work is turned over to the Owner at the project closeout.

- PRODUCT SUBSTITUTIONS Not permitted unless approved by the Owner and (in the case of structural, thermal and moisture control materials) the Local Building Inspector.

C. EXISTING CONDITIONS

- FIELD CONDITION CLARIFICATIONS The Contractor shall notify the Architect of any discrepancies between the drawing, general notes, and field conditions before commencing any work and shall request clarification from the Architect. The proposed work shown is based on observed conditions, accessible at the time existing conditions were documented. Actual conditions, particularly concealed conditions, may vary from those depicted or assumed.

- VERIFY DIMENSIONS The Contractor and each sub-contractor shall check and verify all dimensions and conditions including but not limited to plumbness, squareness and levelness of existing structure and grades at the job site before commencing work.

- RELIANCE ON SUBSTRATE Commencement of work constitutes full and unconditional acceptance of any pre-existing condition upon which current work may rely. Before commencing work, thoroughly investigate and promptly notify the Owner if any pre-existing conditions or construction is not suitable for proper installation of any current work.

D. CONSTRUCTION INSTALLATION

- ALIGNMENT Install all work straight, plumb, true, square, level, smooth and free of defects.

- CUTTING Do not reduce the architectural integrity or required structural capacity of any pre-existing construction.

- PATCHING Patch to match and blend with existing adjacent conditions. The materials and workmanship employed in the alterations, unless otherwise required, shall conform to that of the original work.

E. JOBSITE CLEAN UP

- REMOVAL The Contractor shall remove all waste material both from his own employees and his sub-contractors. Regularly remove from jobsite and legally dispose of all construction debris.

- DUMPSTERS Construction debris and dumpsters are to be stored in on-site location acceptable by Owner.

- PROTECTION OF ADJACENT SITE Contractor to supply temporary construction barriers and protection of non-jobsite spaces.

- SECURITY Keep jobsite secure at all times

F. PROJECT CLOSEOUT

- COMMISSIONING Thoroughly test all Work and repair or replace as required.

G CONTRACTOR RESPONSIBILITY Contractor is responsible for design work pertaining to flashing, vapor barriers, waterproofing, insulation, ventilation, HVAC selection and sizing, engineering electric circuit plan and supplying power as required.

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eve@inkstonearchitects.com



INKSTONE  
ARCHITECTS

Crowley Residence

49 Valentine Road  
Arlington, MA

KITCHEN RENOVATION  
AND MASTER SUITE ADDITION

DATE	SUBMISSION/REVISION
07/12/22	Special Permit Application

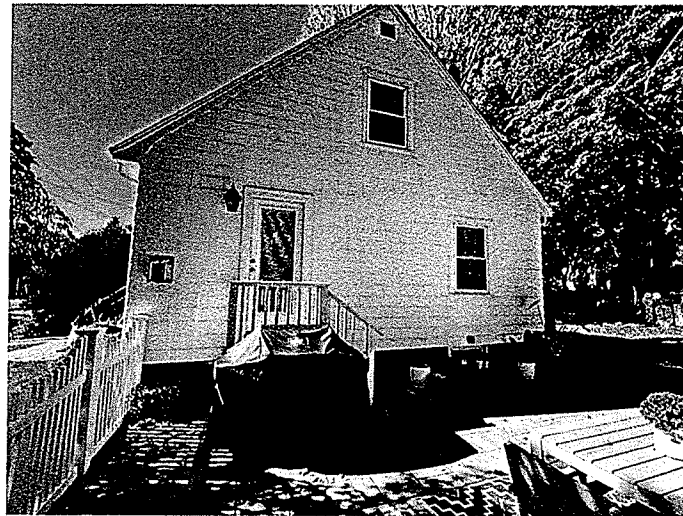
T1

Title Page

617 899 6351  
eve@inkstonearchitects.com



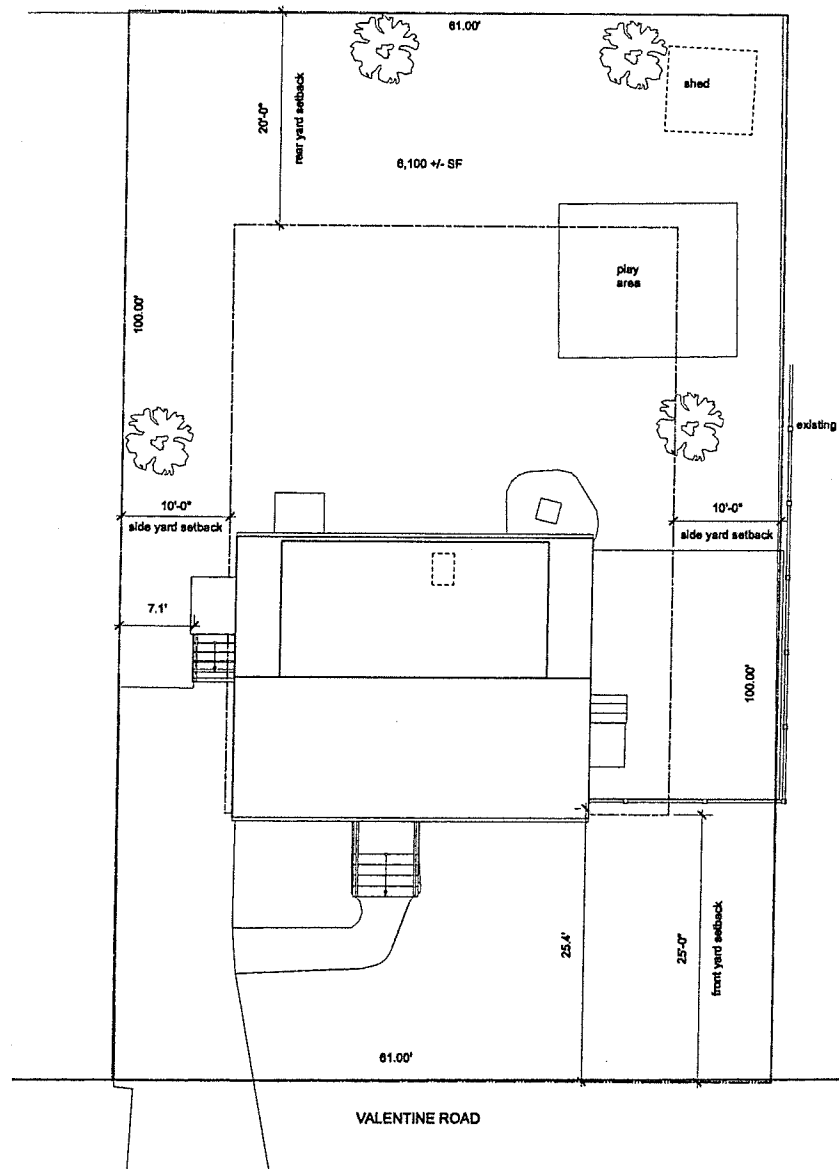
EXISTING FRONT ELEVATION



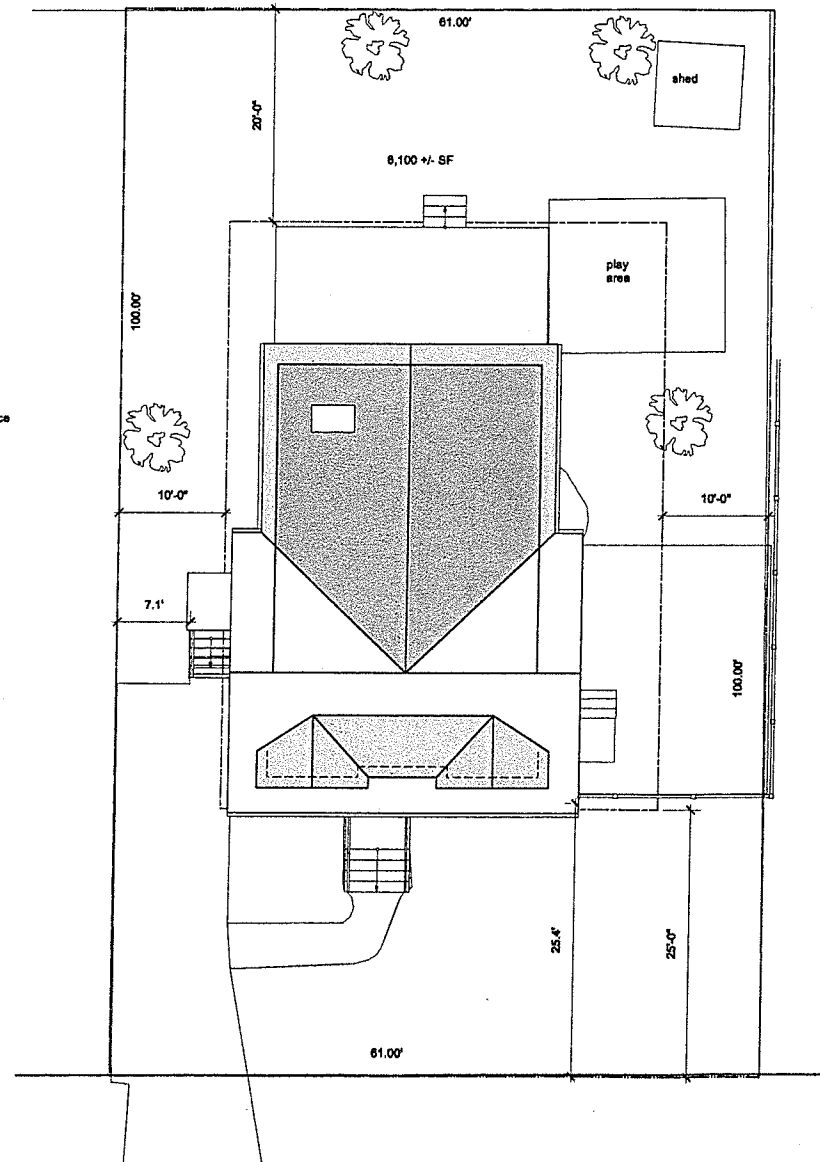
EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION



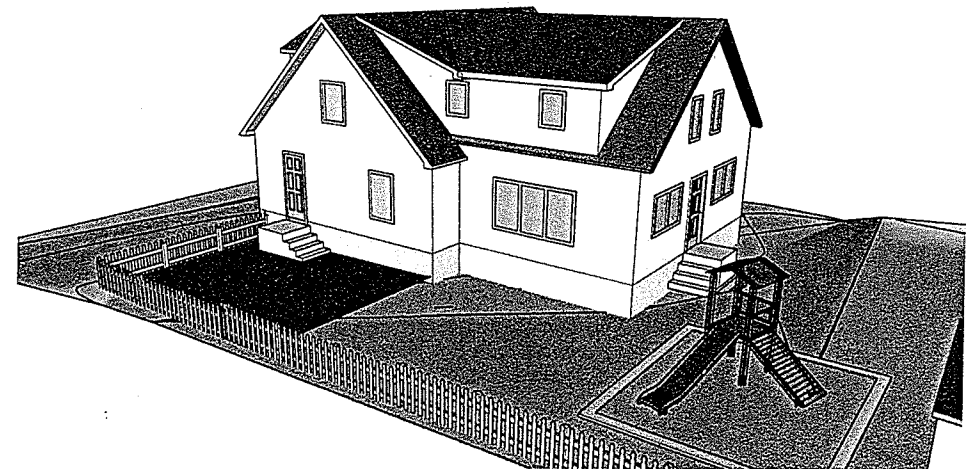
1 Site Plan Existing  
Scale: 1/8" = 1'-0"



3 Site Plan Proposed  
Scale: 1/8" = 1'-0"



PROPOSED FRONT DORMER



PROPOSED REAR ADDITION



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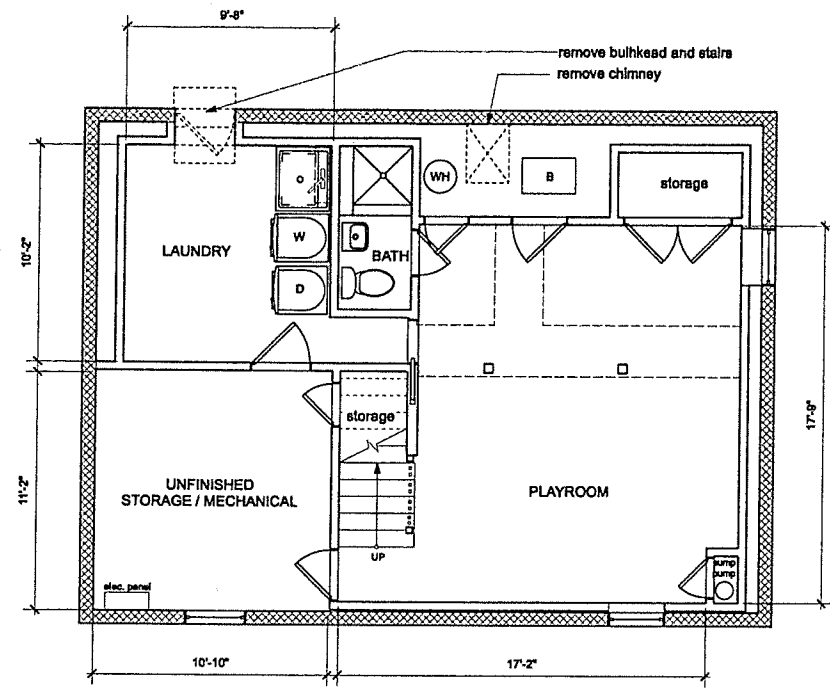
**Crowley Residence**  
49 Valentine Road  
Arlington, MA

**KITCHEN RENOVATION  
AND MASTER SUITE ADDITION**

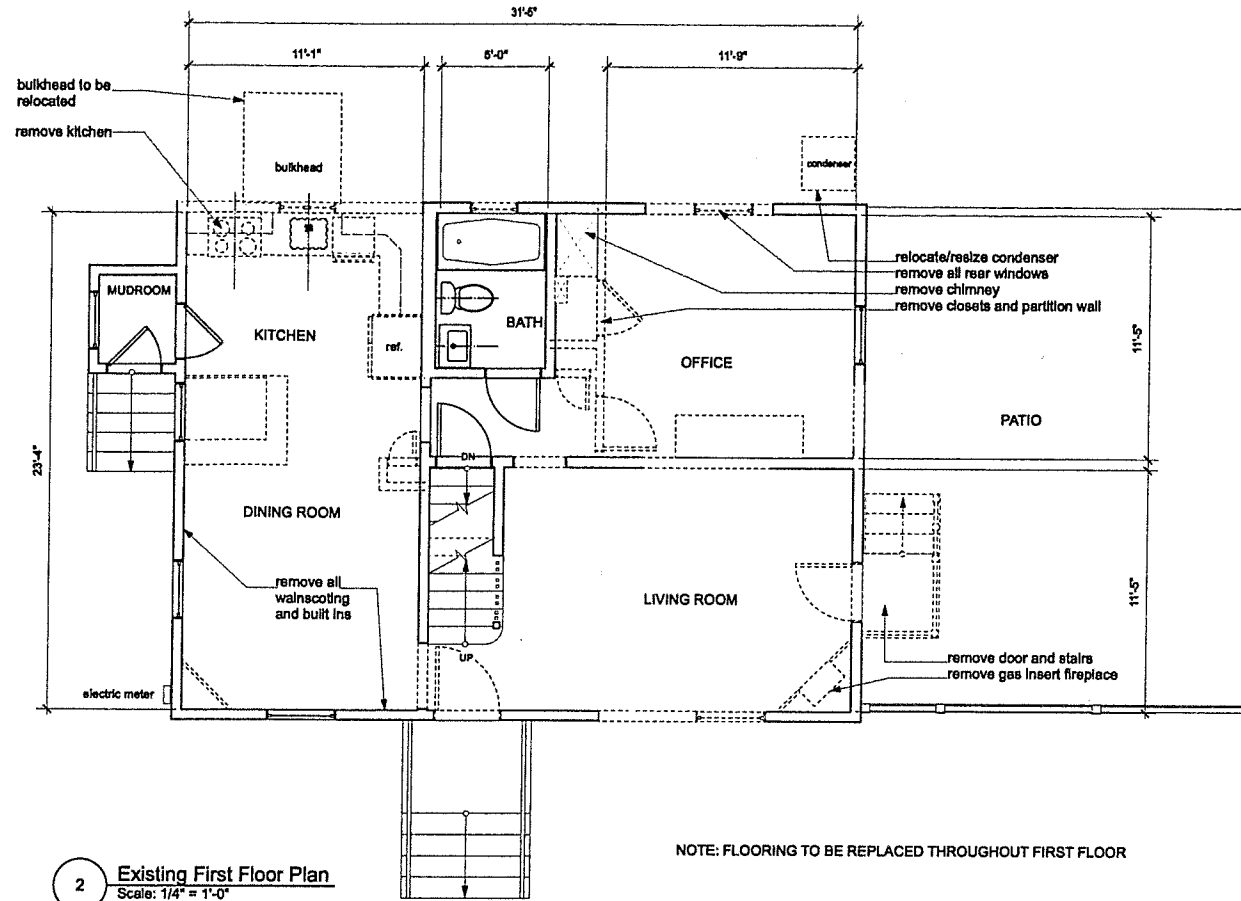
DATE	SUBMISSION/REVISION
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**A01**

Site Plan

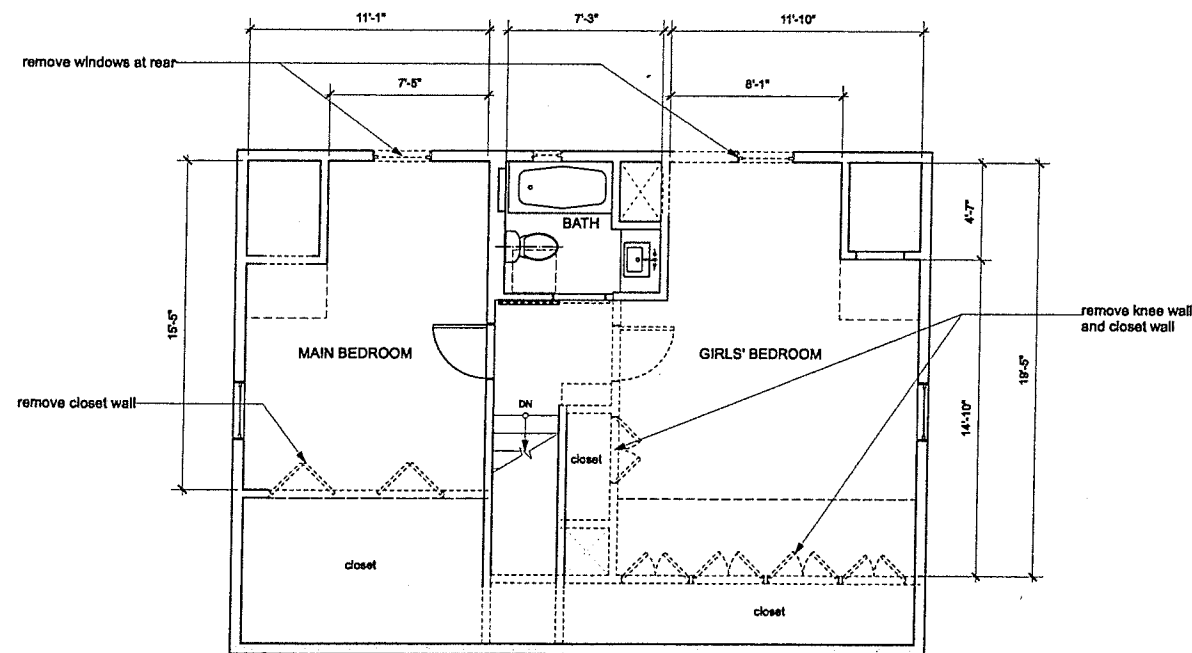


1 Existing Basement Floor Plan  
Scale: 1/4" = 1'-0"

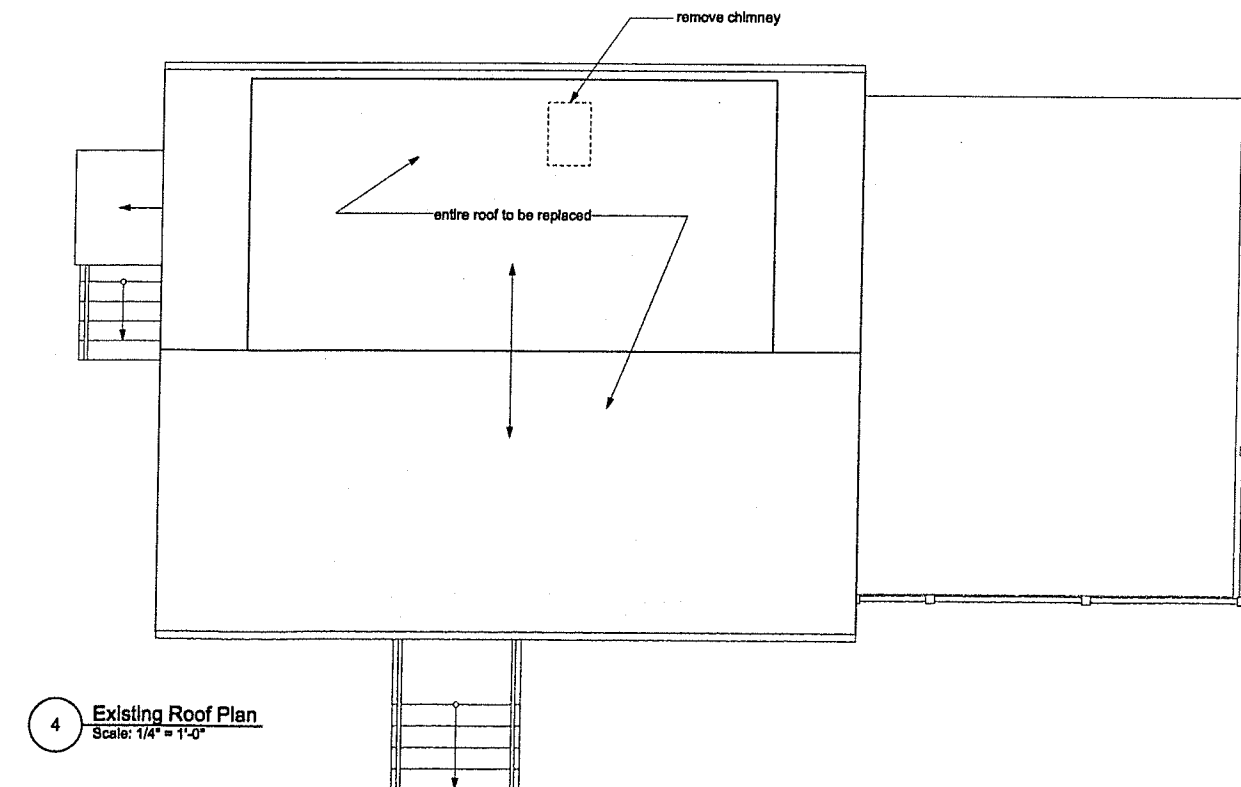


2 Existing First Floor Plan  
Scale: 1/4" = 1'-0"

NOTE: FLOORING TO BE REPLACED THROUGHOUT FIRST FLOOR



3 Existing Second Floor Plan  
Scale: 1/4" = 1'-0"



4 Existing Roof Plan  
Scale: 1/4" = 1'-0"



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A02

EXISTING FLOOR PLANS

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**Crowley Residence**

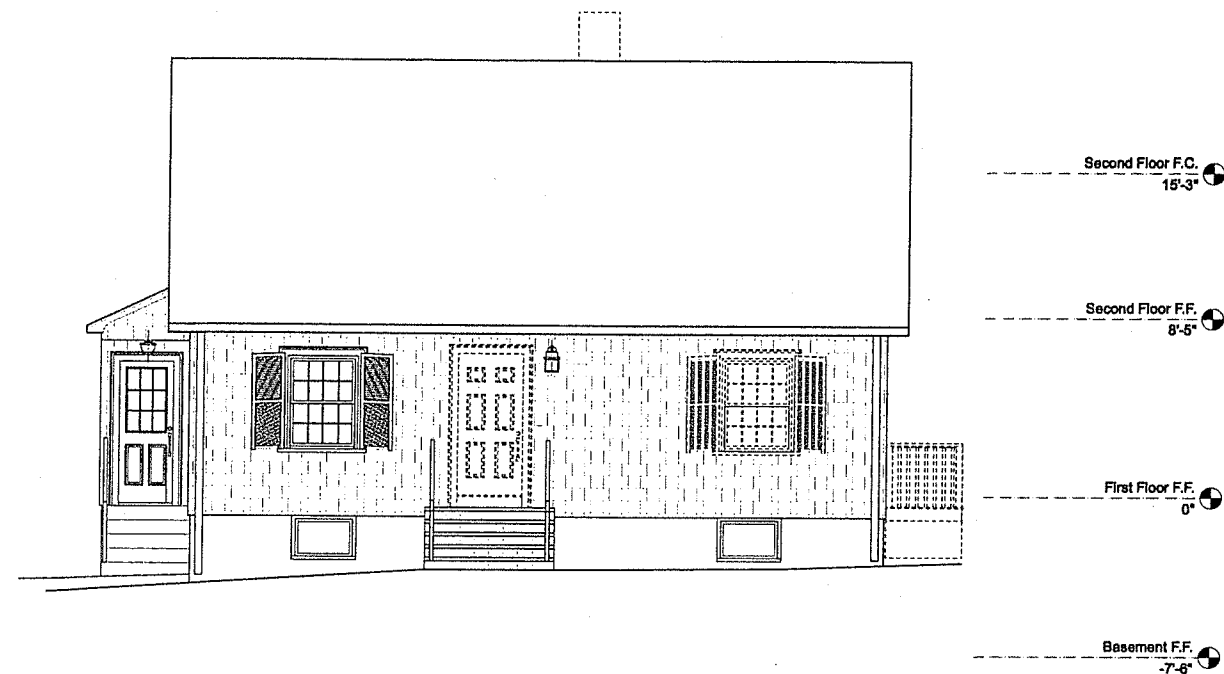
49 Valentine Road  
Arlington, MA

**KITCHEN RENOVATION  
AND MASTER SUITE ADDITION**

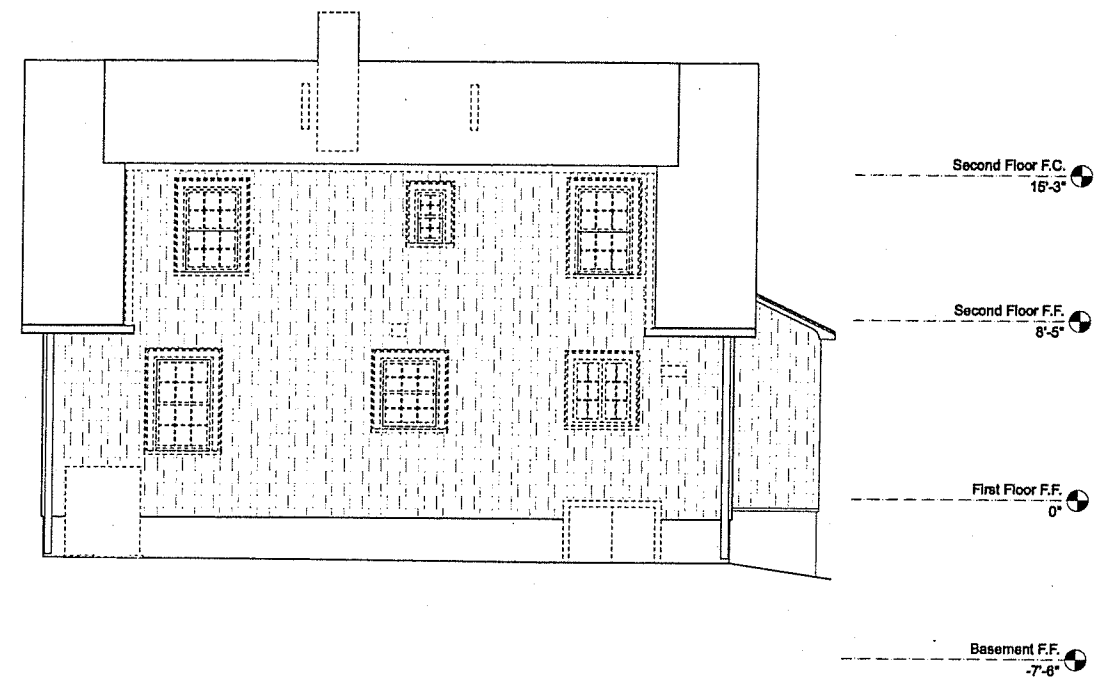
DATE	SUBMISSION/REVISION
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**A03**

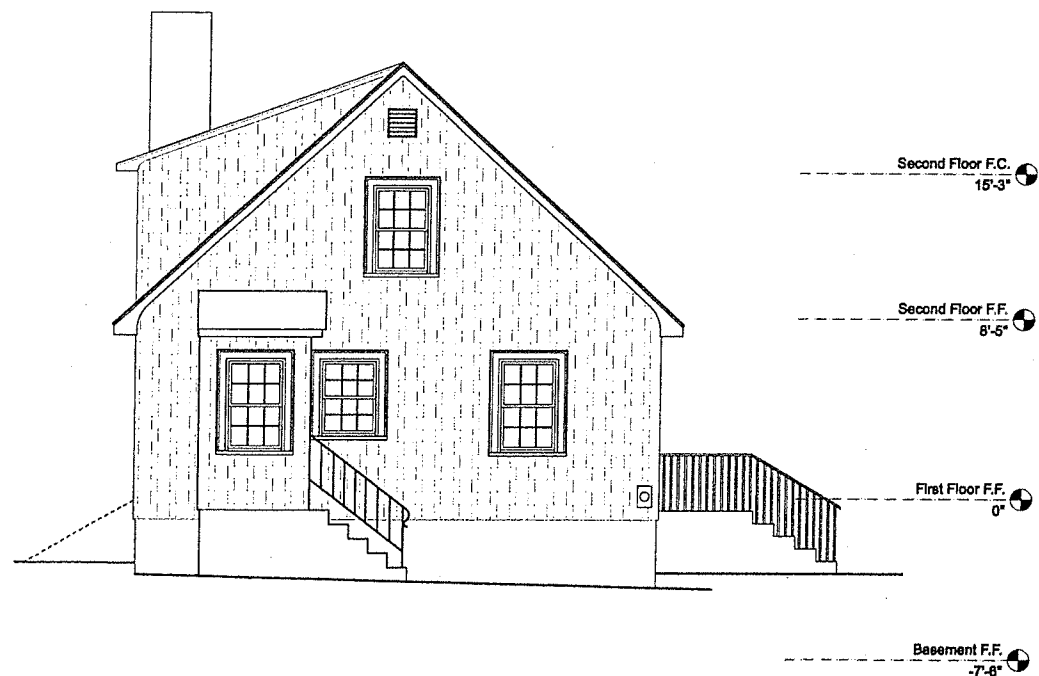
EXISTING EXTERIOR  
ELEVATIONS



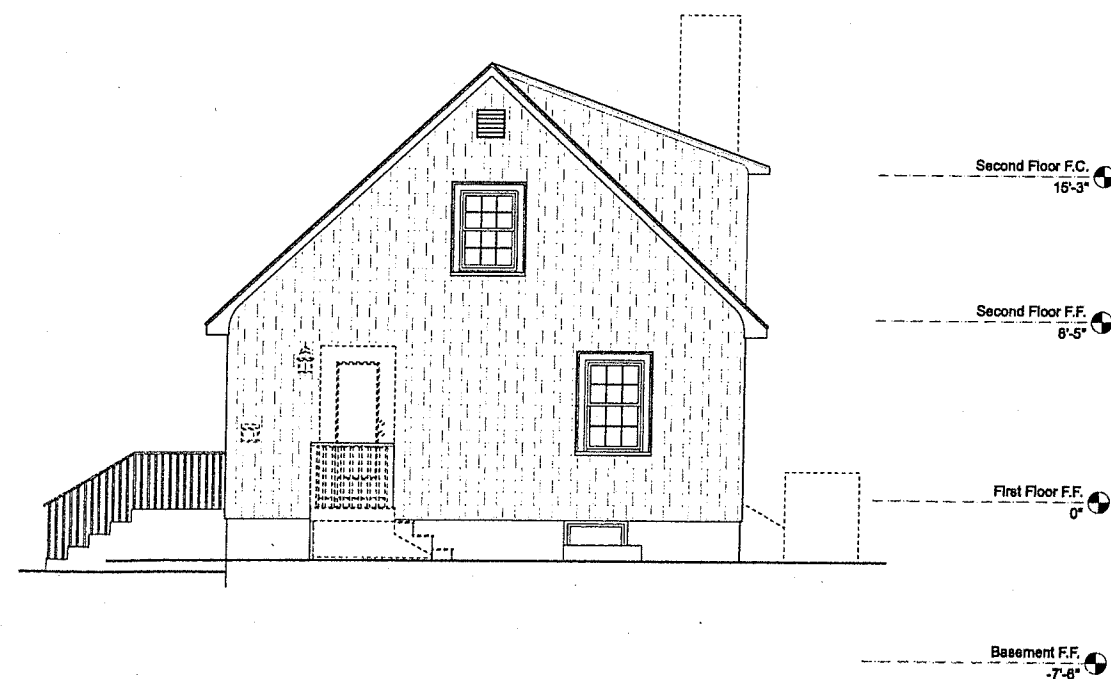
1 Existing South Elevation  
Scale: 1/4" = 1'-0"



2 Existing North Elevation  
Scale: 1/4" = 1'-0"



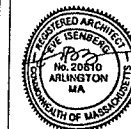
4 Existing West Elevation  
Scale: 1/4" = 1'-0"



3 Existing East Elevation  
Scale: 1/4" = 1'-0"

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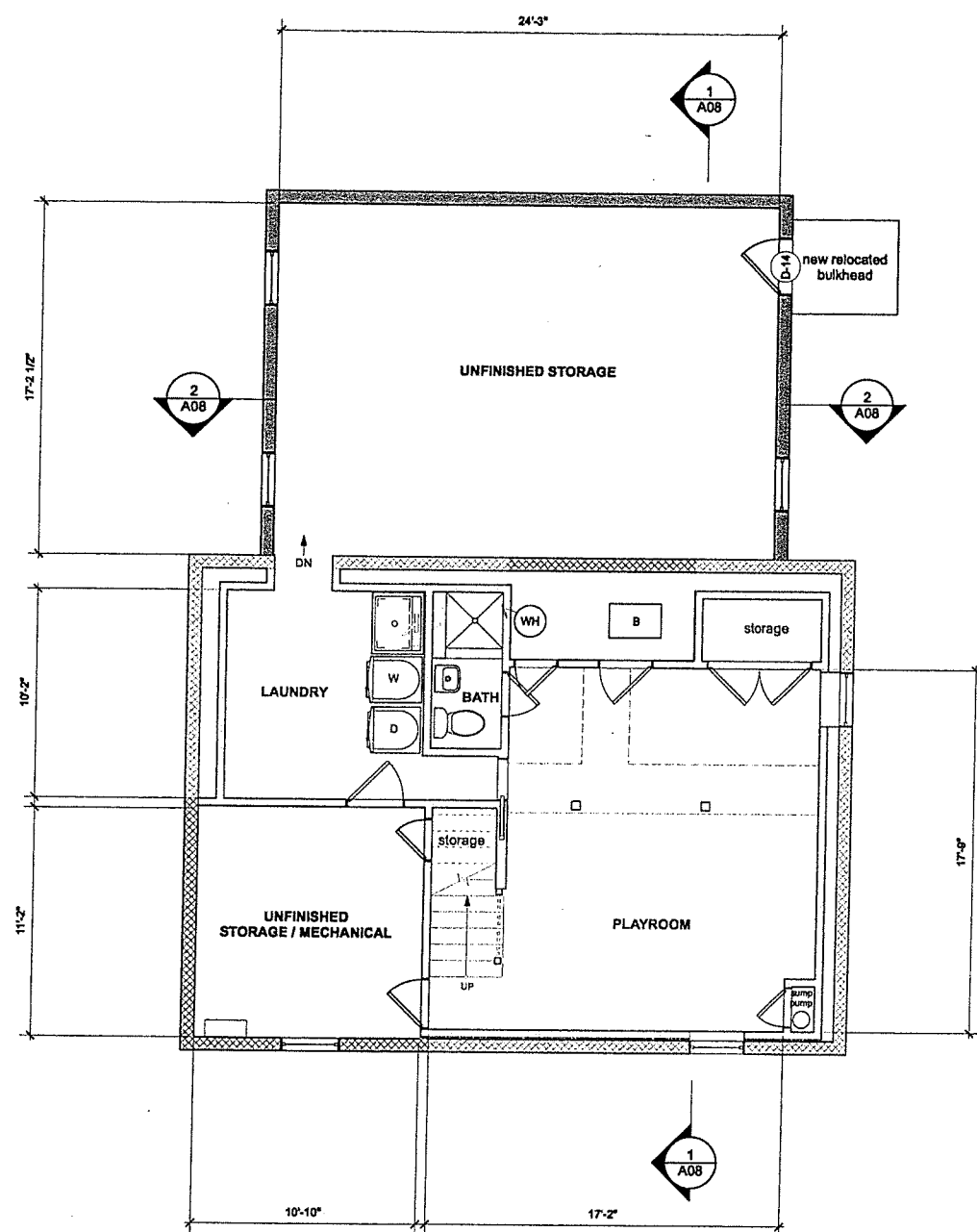
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**KITCHEN RENOVATION  
AND MASTER SUITE ADDITION**

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**A04**  
PROPOSED BASEMENT  
AND FIRST FLOOR PLANS



**1 Proposed Basement Floor Plan**  
Scale: 1/4" = 1'-0"

**GFA Calculations:**

Basement Floor existing GFA 585 sf

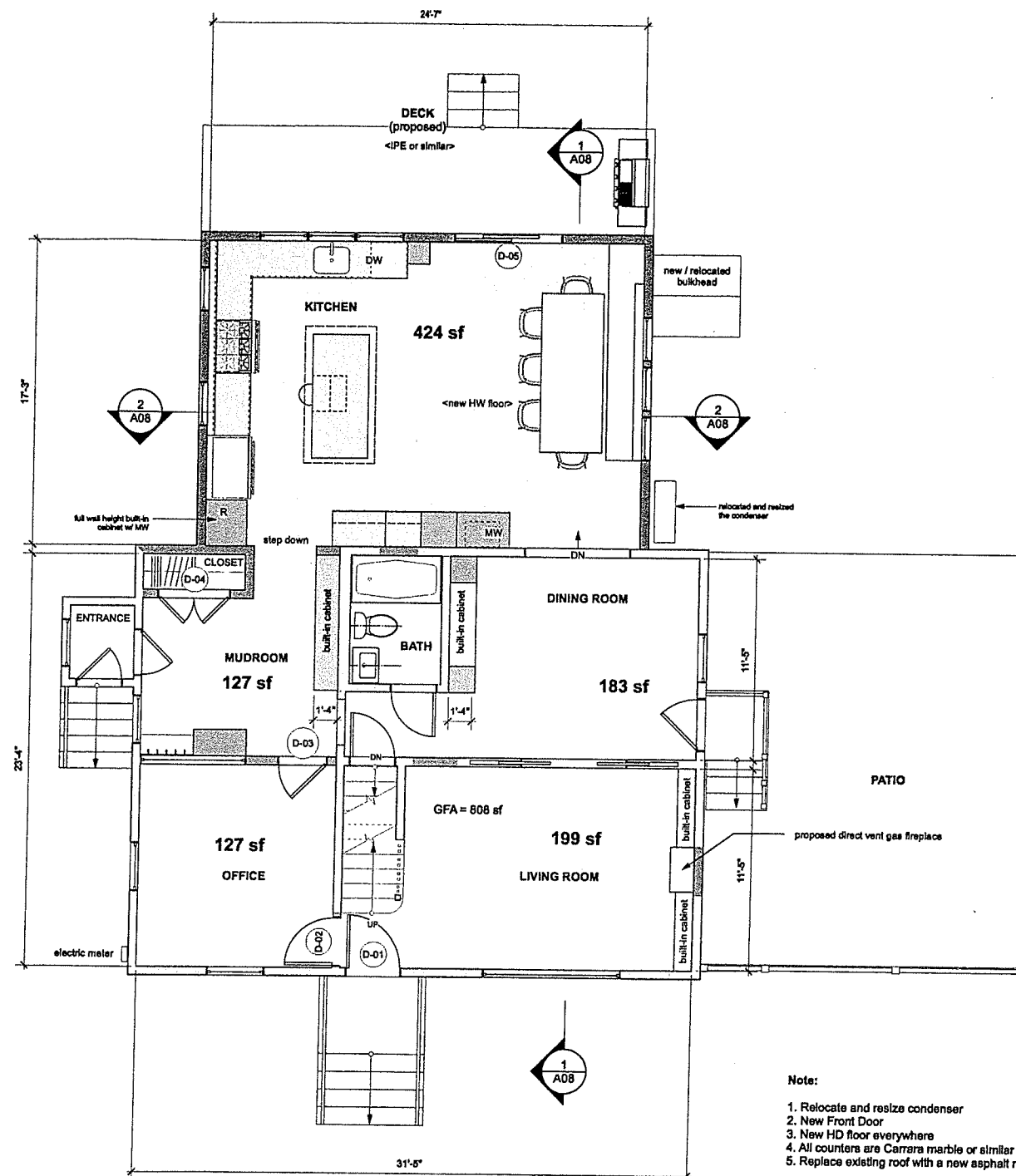
Basement Floor Proposed - UNFINISHED

**GFA Calculations:**

Basement existing	585sf	Basement Proposed*	585 sf
1st Floor existing	808sf	1st Floor Proposed	1262 sf
2nd Floor existing	550sf	2nd Floor Proposed	978 sf
<b>Total existing:</b>	<b>1,943sf</b>	<b>Total proposed:</b>	<b>2825 sf</b>

\*NOTE: Basement under addition is unfinished and has 7'-3" ceiling height

Proposed GFA is 45.4 % of the existing GFA



**2 Proposed First Floor Plan**  
Scale: 1/4" = 1'-0"

**GFA Calculations:**

1st Floor existing GFA 808sf

1st Floor Proposed Additional GFA 454 sf

**Note:**

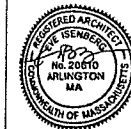
1. Relocate and resize condenser
2. New Front Door
3. New HD floor everywhere
4. All counters are Carrera marble or similar
5. Replace existing roof with a new asphalt roof





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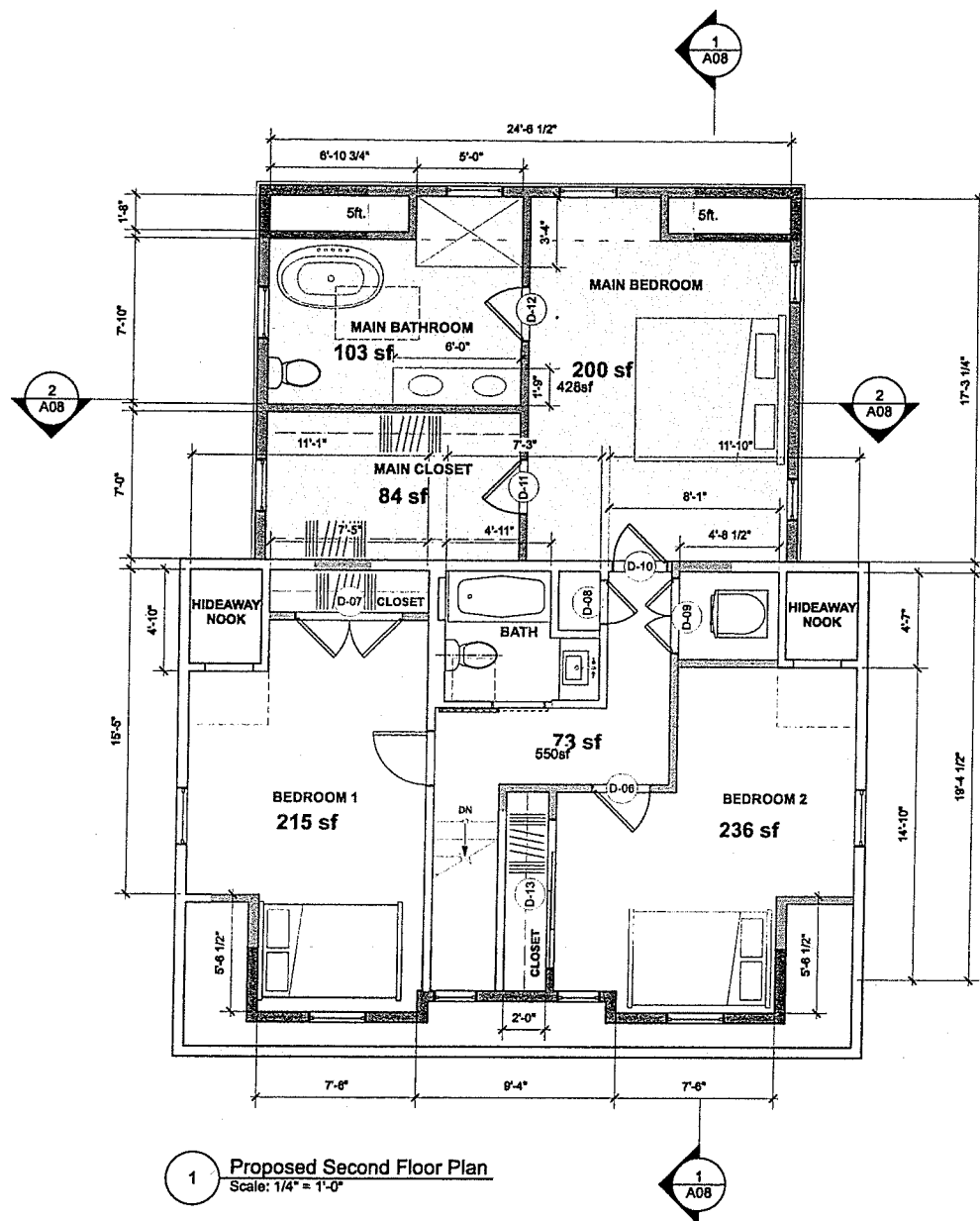
**Crowley Residence**  
49 Valentine Road  
Arlington, MA

**KITCHEN RENOVATION  
AND MASTER SUITE ADDITION**

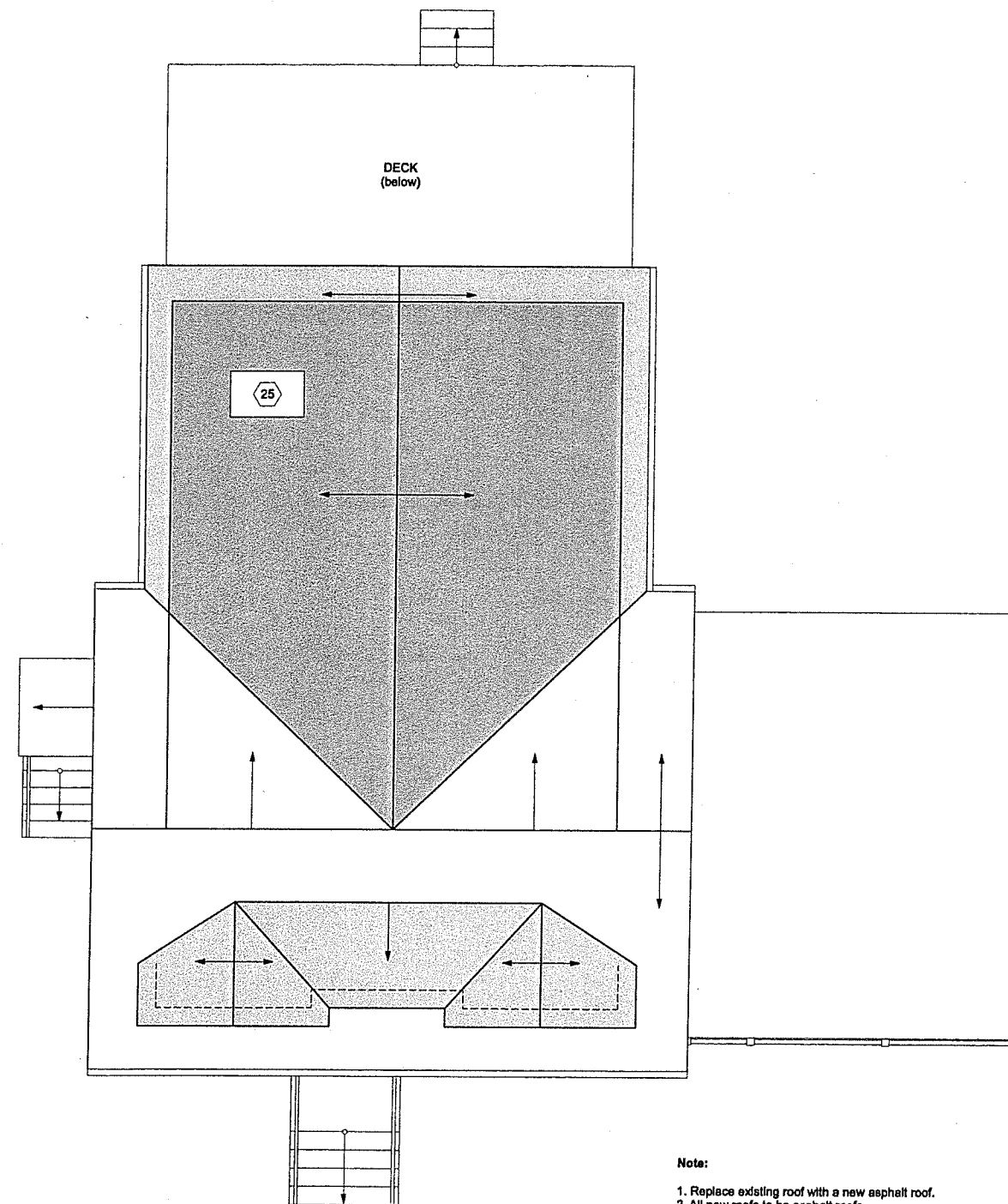
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**A05**

PROPOSED SECOND  
FLOOR AND ROOF PLANS



1 Proposed Second Floor Plan  
Scale: 1/4" = 1'-0"



2 Proposed Roof Plan  
Scale: 1/4" = 1'-0"

**Note:**

1. Replace existing roof with a new asphalt roof.
2. All new roofs to be asphalt roofs.

**GFA Calculations:**

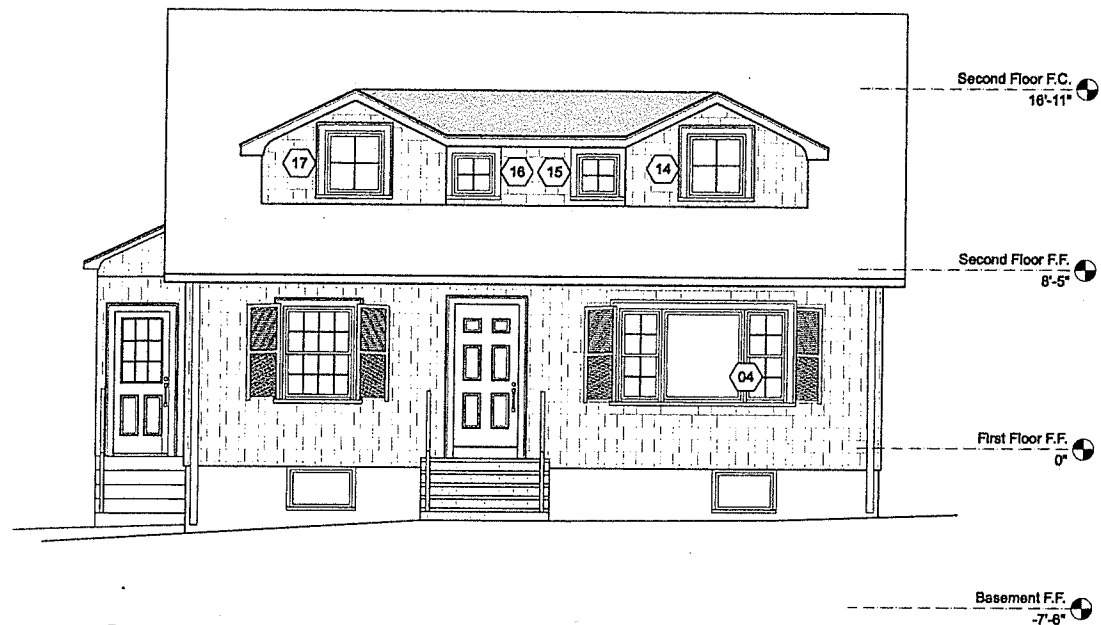
2nd Floor existing GFA 550 sf      2nd Floor Proposed Additional GFA 428 sf

**GFA Calculations:**

Basement existing	585sf	Basement Proposed*	585 sf
1st Floor existing	808sf	1st Floor Proposed	1262 sf
2nd Floor existing	550sf	2nd Floor Proposed	978 sf
Total existing:	1,943sf	Total proposed:	2825 sf

\*NOTE: Basement under addition is unfinished and has 7'-3" ceiling height

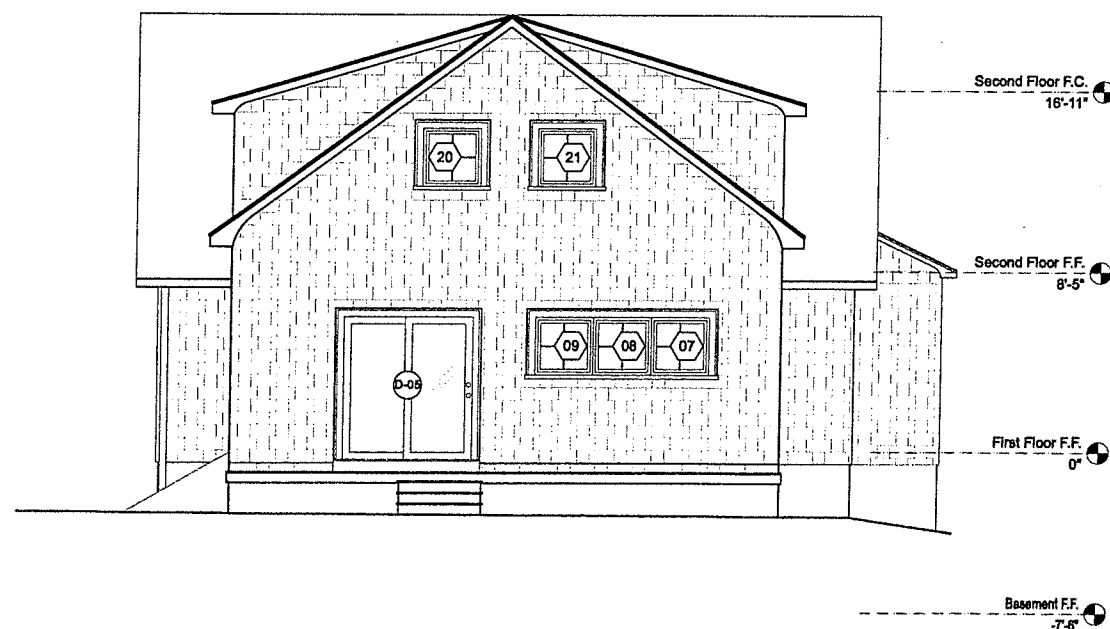
Proposed GFA is 45.4 % of the existing GFA



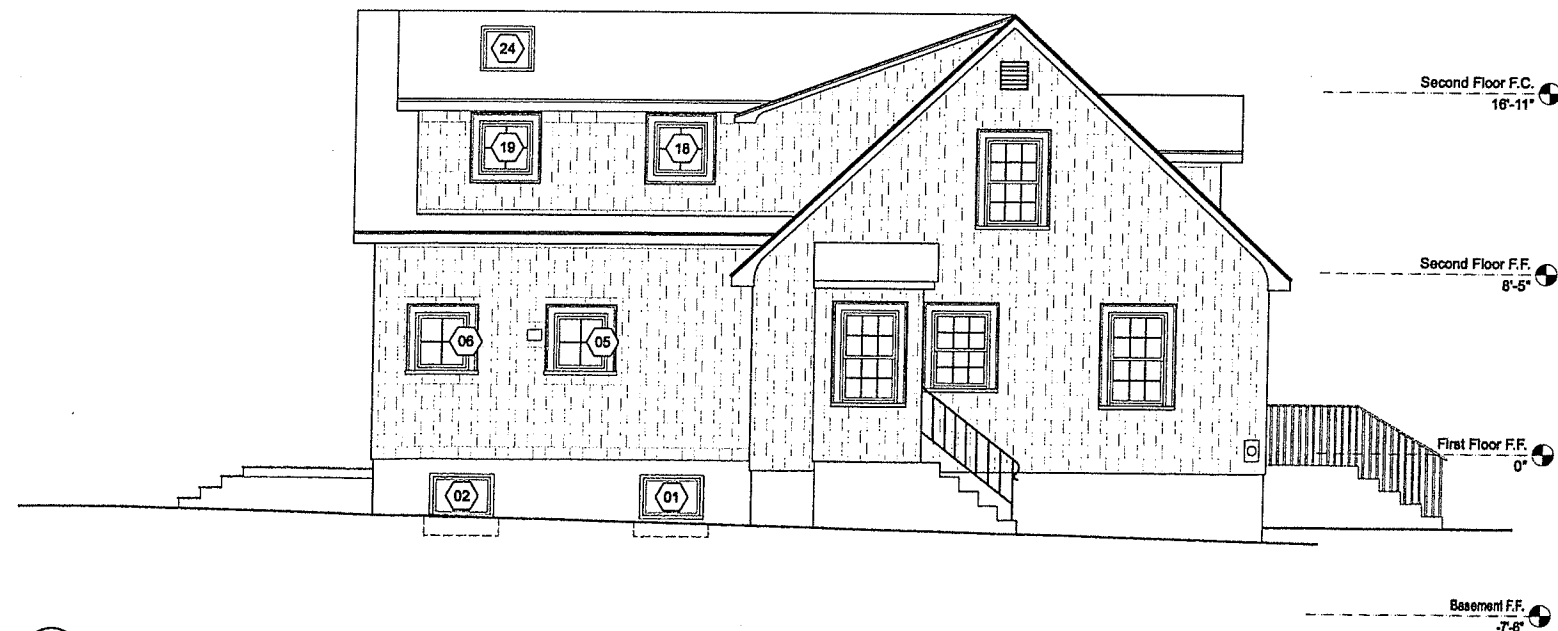
1 Proposed South Elevation  
Scale: 1/4" = 1'-0"



2 Proposed East Elevation  
Scale: 1/4" = 1'-0"



3 Proposed North Elevation  
Scale: 1/4" = 1'-0"

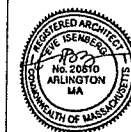


4 Proposed West Elevation  
Scale: 1/4" = 1'-0"

60 of 136

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**Crowley Residence**  
49 Valentine Road  
Arlington, MA

**KITCHEN RENOVATION  
AND MASTER SUITE ADDITION**

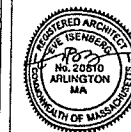
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**A06**  
PROPOSED EXTERIOR  
ELEVATIONS



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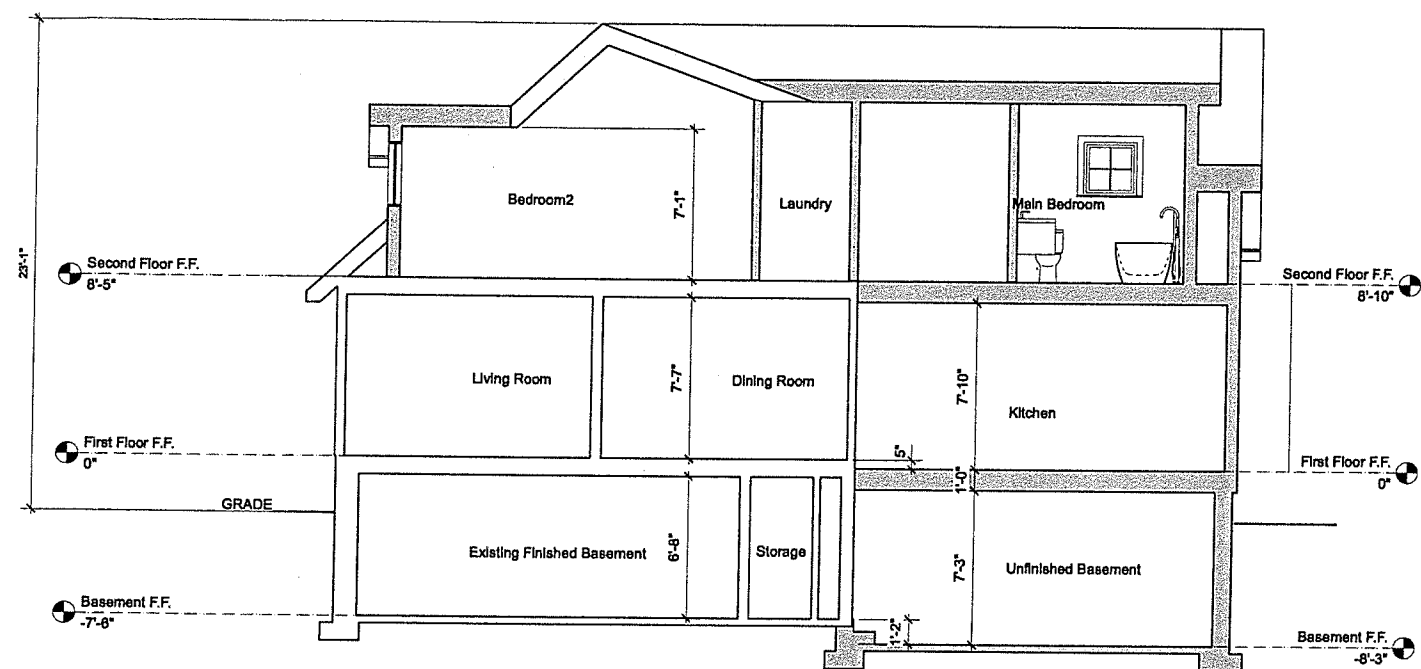
**Crowley Residence**

49 Valentine Road  
Arlington, MA

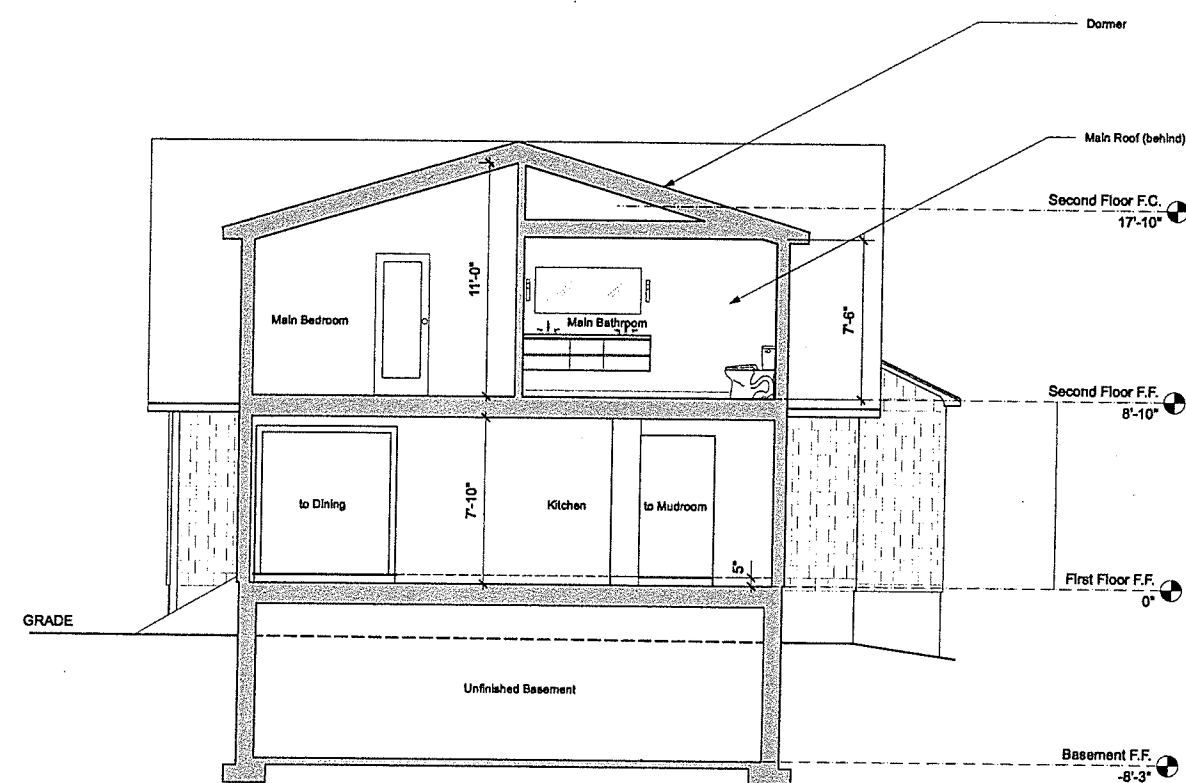
**KITCHEN RENOVATION  
AND MASTER SUITE ADDITION**

DATE	SUBMISSION/REVISION
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**A07**  
PROPOSED SECTIONS



1 Building section 1-1  
Scale: 1/4" = 1'-0"



3 Building section 2-2  
Scale: 1/4" = 1'-0"

49 Valentine Road, Arlington, MA

Tag	Room	Description	Size WxH	Manufacturer/Model	Screens	Hardware
Basement						
1	unfinished space	awning	2'-8" x 1'-9"			
2	unfinished space	awning	2'-6" x 1'-9"			
3	unfinished space	awning	2'-8" x 1'-9"			
First Floor						
4	Living Room	double hung	(2) 3'-11" x 4'-4 1/2"	see 1. below.		
5	Kitchen	casement	2'-6" x 2'-8 1/2"			
6	Kitchen	casement	2'-6" x 2'-8 1/2"			
7	Kitchen	casement	2'-8 1/2" x 2'-8 1/2"	7,8,9 mull together		
8	Kitchen	casement	2'-8 1/2" x 2'-8 1/2"	7,8,9 mull together		
9	Kitchen	casement	2'-8 1/2" x 2'-8 1/2"	7,8,9 mull together		
10	Kitchen	double hung	2'-8 1/2" x 4'-2"	see 1. below.		
11	Kitchen	double hung	2'-8 1/2" x 4'-2"	11,12,13 mull together		
12	Kitchen	double hung	2'-8 1/2" x 4'-2"	11,12,13 mull together		
13	Kitchen	double hung	2'-8 1/2" x 4'-2"	11,12,13 mull together		
Second Floor						
14	Bedroom2	casement	2'-8 1/2" x 3'-0"			
15	Bedroom2	fixed	2'-0" x 2'-0"			
16	Staircase	fixed	2'-0" x 2'-0"			
17	Bedroom1	casement	2'-8 1/2" x 3'-0"			
18	Main Closet	fixed	2'-6" x 2'-6"			
19	Main Bathroom	fixed	2'-6" x 2'-6"			
20	Main Bathroom	casement	2'-8 1/2" x 2'-8 1/2"			
21	Main Bedroom	fixed	2'-8 1/2" x 2'-8 1/2"			
22	Main Bedroom	casement	2'-0" x 3'-10"			
23	Main Bedroom	casement	2'-0" x 3'-10"			
24	Main Bathroom	skylight				

1. Harvey Classic Double Hung vinyl white interior and exterior with exterior applied grids and aluminum frame view screens or Andersen 40

49 Valentine Road, Arlington, MA

Tag	Room	Location	Description	Manufacturer/Model	Unit Size"
Basement					
14	Bulkhead				
First Floor					
1	Front Entrance	Main Entrance	craftsman style LH swing fir exterior door with 2h x 3w simulated divided lite glass panel	Therma-Tru CCA260 SDL Craftsman 6	3'-0" x 6'-8"
2	Office	from Main Entrance	LH swing painted 2 panel interior door	lite stained Raven Gray	2'-8" x 6'-8"
3	Office	to Mudroom	BI-part 2 panel interior door		5'-3" x 6'-8"
4	Closet	Mudroom	BI-part 2 panel interior door		4'-0" x 6'-8"
5	Kitchen	to Deck	RH swing exterior door	match front door	2'-8" x 6'-8"
Second Floor					
6	Bedroom 2	to Bedroom 2	LH swing painted 2 panel interior door		2'-8" x 6'-8"
7	Bedroom 1	closet	BI-part 2 panel interior door		5'-0" x 6'-8"
8	Linens Closet	closet	LH swing painted 2 panel interior door		2'-0" x 6'-8"
9	Laundry	laundry	BI-part 2 panel interior door		3'-6" x 6'-8"
10	Main Bedroom	to Main Bedroom	RH swing painted 2 panel interior door		2'-6" x 6'-8"
11	Main Bedroom Close	to Main Closet	RH swing painted 2 panel interior door		2'-6" x 6'-8"
12	Main Bathroom	to Main Bathroom	LH swing painted 2 panel interior door		2'-6" x 6'-8"
13	Bedroom 2	to closet	Painted 2 panel slider		7'-0" x 6'-8"

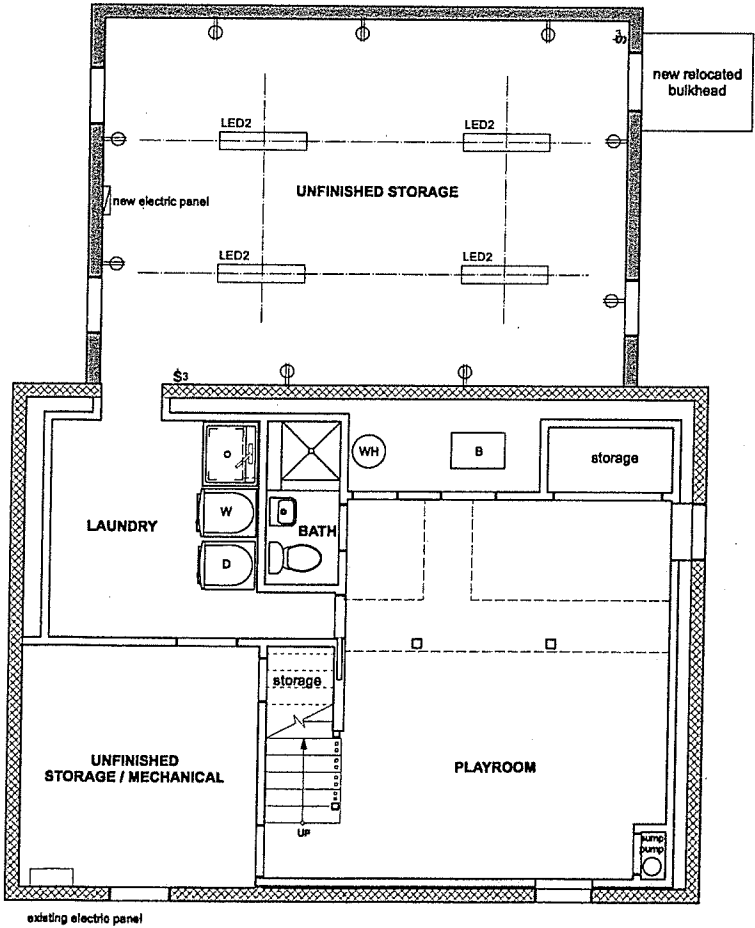
NOTE: Interior doors to be Broco PR-22 or similar

IECC 2018 TABLE 402.1.2 INSULATION AND PENETRATION REQUIREMENT BY COMPONENT

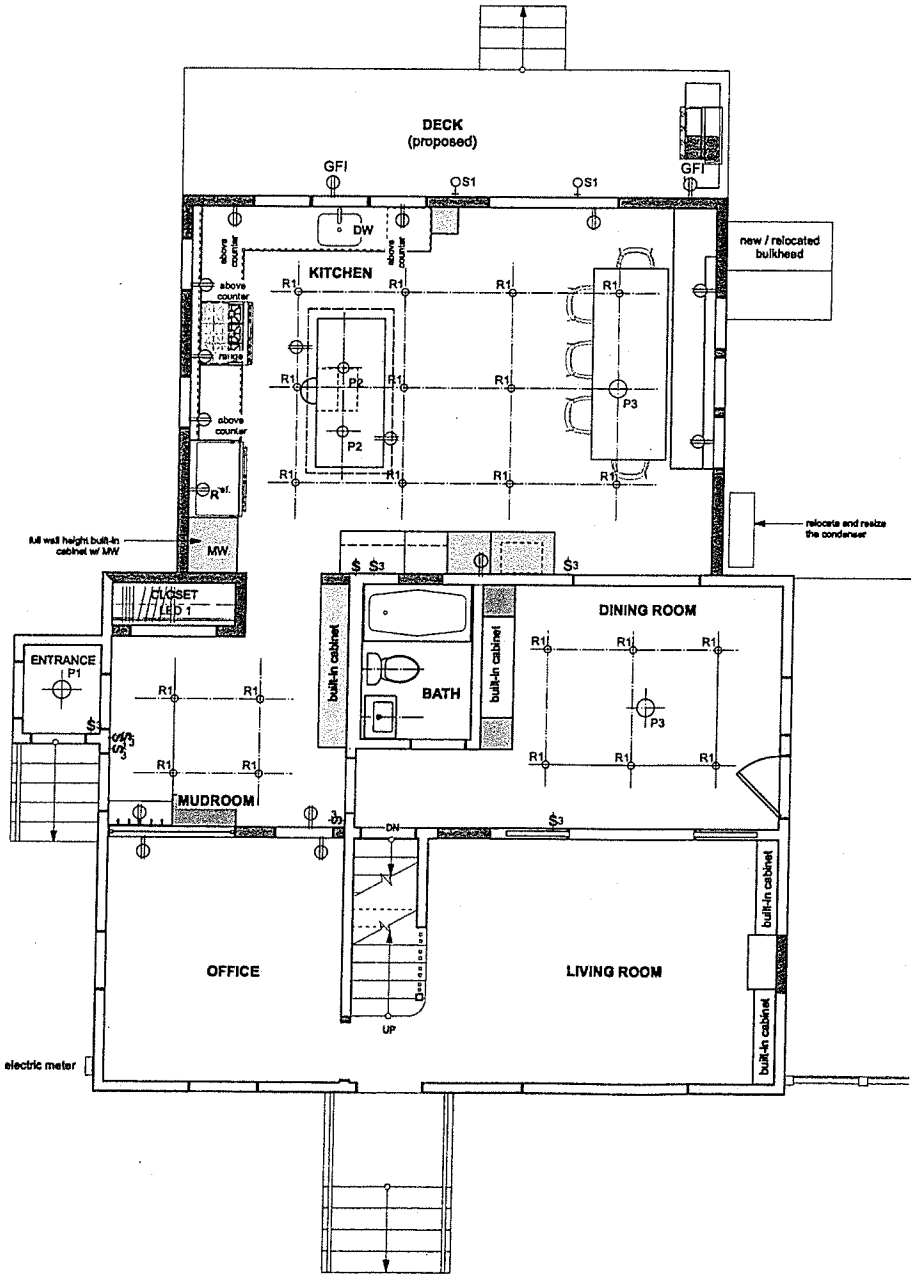
Climate Zone	Fenestration Factor	U-Value Glazed Fenestration SHGC	Ceiling R-Value	Wood Frame R-Value	Floor R-Value	Basement R-Value	Slab R-Value	Crawspace R-Value
6	0.32	NR	R-48	20 or 13+5	30	10	10, 20	10

ELECTRIC KEY

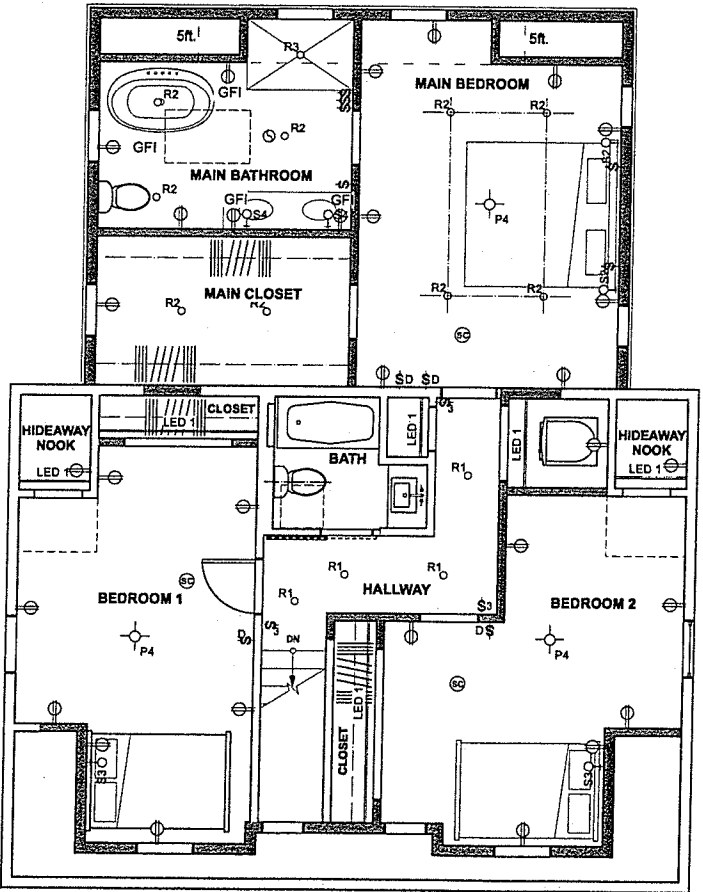
- LED 1 LED strip surface mounted undercabinet
- LED 2 LED surface mounted linear fixture
- LED 3 LED strip cove
- P1 surface mounted pendant interior
- P2 surface mounted pendant exterior
- R1 4" LED recessed downlight
- R2 4" LED recessed adjustable downlight
- R3 2" LED recessed downlight
- B1 wall mounted sconce interior
- B2 wall mounted sconce exterior
- F1 fluorescent surface mounted
- F2 fluorescent closet strip
- ventilation fan/light
- ventilation fan
- surface mounted fan
- CAT 9 network connection
- outlet @ 18"
- floor mounted outlet
- ground fault circuit outlet
- furniture mounted outlet
- switch
- dimmer switch
- three-way switch
- remote switch
- smoke detector
- smoke and carbon monoxide detector
- electric panel



1 Proposed Electrical Basement Floor Plan  
Scale: 1/4" = 1'-0"



2 Proposed Electrical First Floor Plan  
Scale: 1/4" = 1'-0"



3 Proposed Electrical Second Floor Plan  
Scale: 1/4" = 1'-0"

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INKSTONE  
ARCHITECTS, LLC

Crowley Residence

49 Valentine Road  
Arlington, MA

KITCHEN RENOVATION  
AND MASTER SUITE ADDITION

DATE	SUBMISSION/REVISION
07/22/22	Special Permit Application

E01

ELECTRIC PLANS

1. STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE CODES, INCLUSIVE OF THE "COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE," 9<sup>TH</sup> EDITION (ONE AND TWO FAMILY DWELLING CODE), IRC 2015, AND ASCE 7-10.
2. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO: BRACING, SHORING, AND APPROPRIATE MATERIAL STORAGE. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT/ENGINEER (A/E) SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS INDICATED ON THE DRAWINGS PRIOR TO THE START OF CONSTRUCTION, AND RESOLVE ANY ISSUES WITH THE A/E.
4. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING WORK WITH THE APPROPRIATE TRADES. DRAWINGS, AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
5. CONSTRUCTION MATERIAL SHALL BE SPREAD OUT IF PLACED ON A FRAMED FLOOR OR ROOF. LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
6. TYPICAL DETAILS AND NOTES SHOWN ON STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE STRUCTURAL WORK, EXCEPT WHERE SPECIFICALLY REQUIRED OTHERWISE BY CONTACT DOCUMENTS.
7. DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE SHOWN FOR THE MOST NEARLY SIMILAR CONDITION AS DETERMINED BY THE A/E.

2. LIVE LOADS

TYPICAL FLOOR	40 psf
BEDROOMS/ATTIC	30 psf
SNOW LOAD:	35 psf + DRIFT (Pg=40; P <sub>fmin</sub> =30; P <sub>s</sub> =30)

3. SOIL BEARING TAKEN TO BE 2500 psf

1. ALL CONCRETE SHALL HAVE STONE AGGREGATE (NORMAL WEIGHT).
2. CAST-IN-PLACE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH (14) OF 3,000 psi TYPICAL AND 4,000 psi AT GARAGE FLOORS.
3. CONCRETE REINFORCING SHALL BE IN ACCORDANCE WITH ASTM A615 AND HAVE THE FOLLOWING MINIMUM YIELD STRENGTHS:
  - o MAIN REINFORCING STEEL – 60ksi
  - o TIES AND STIRRUPS – 40 ksi
4. REINFORCEMENT MINIMUM CLEARANCES:
  - o CONCRETE PLACED AGAINST THE EARTH – 3"
  - o CONCRETE PLACED IN FORMS – 15'
5. PROVIDE VAPOR BARRIER UNDER INTERIOR SLABS CAST ON GRADE.

COMPOSITE WOODS SHALL BE MANUFACTURED BY BOISE CASCADE, OR AN APPROVED EQUAL, AND SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS.

COMPOSITE JOISTS AND BEAMS SHALL BE SPECIFIED AND INSTALLED PER THE MANUFACTURERS REQUIREMENTS.

MATERIAL PROPERTIES OF COMPOSITE WOODS SHALL CONFORM TO THE FOLLOWING:

<i>1-3/4" LAMINATED VENEER LUMBER (LVL) MEMBERS BUILT UP FROM 1 TO 4 PLIES</i>		
ALLOWABLE BENDING STRESS (Fb):		3100 psi
MODULUS OF ELASTICITY (E):	2,000,000 psi	
<i>SOLID POSTS OF PARALLEL STRAND LUMBER (PSL)</i>		
ALLOWABLE BENDING STRESS (Fb):		2400 psi
COMPRESSION PARALLEL TO THE GRAIN (Fc):		2500 psi
MODULUS OF ELASTICITY (E):	1,800,000 psi	

1. ALL WOOD CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITIONS OF APPLICABLE AMERICAN WOOD COUNCIL CODES, STANDARDS, AND SPECIFICATIONS.
2. WOOD CONSTRUCTION SHALL CONFORM TO ARTICLE 23, "WOOD" OF THE MSBC, LATEST EDITION.
3. ALL INTERIOR AND EXTERIOR BEARING WALLS SHALL BE 2x4 @ 16" ON-CENTER, UNLESS OTHERWISE NOTED (N.O.N.).
4. PROVIDE METAL HANGERS AT ALL FLUSH FRAME CONNECTIONS.
5. ALL FASTENERS SHALL BE IN CONFORMANCE WITH THE IRC TABLE R602.3, FASTENERS EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
6. MINIMUM BEARING FOR ALL JOISTS AND RAFTERS SHALL BE 1-1/2".
7. USE DOUBLE JOISTS UNDER ALL PARTITIONS.
8. EXTERIOR OPENING HEADERS SHALL BE MINIMUM (2) 2x10, UNLESS OTHERWISE NOTED.
9. INTERIOR OPENING HEADERS SHALL BE MINIMUM (2) 2x8, UNLESS OTHERWISE NOTED.
10. PROVIDE ADEQUATE KING AND JACK STUDS AT ALL OPENINGS, AS SPECIFIED IN THE IRC.
11. ANCHOR BOLTS, AND BOLTS FOR STRUCTURAL WOOD CONNECTIONS SHALL BE ASTM A307, STANDARD CUT WASHERS SHALL BE PROVIDED BETWEEN WOOD AND BOLT-HEAD, AND BETWEEN WOOD AND BOLT-NUT UNLESS STEEL PLATES OR PLATE WASHERS ARE USED.
12. WHERE STUDS WALLS ARE GREATER THAN 8'-0" IN HEIGHT, PROVIDE A ROW OF 2x SOLID HORIZONTAL BLOCKING.
13. BUILT-UP BEAMS SHALL BE FIRMLY NAILED OR BOLTED TOGETHER IN CONFORMANCE IRC REQUIREMENTS.
14. SILLS SHALL BE (2) 2x6 (PRESSURE TREATED), AND SHALL BE ANCHORED WITH 5/8" DIAMETER ANCHOR BOLTS NOT MORE THAN 32" ON-CENTER AND AT 8" FROM EACH CORNER.
15. TEMPORARY ERECTION BRACING SHALL BE PROVIDED TO HOLD STRUCTURAL TIMBER SECURELY IN POSITION DURING CONSTRUCTION. IT SHALL NOT BE REMOVED UNTIL PERMANENT BRACING AND SUPPORT HAS BEEN INSTALLED.
16. ALL WOOD PRODUCTS SHALL BE HANDLED AND COVERED AS TO PREVENT MARRING AND MOISTURE ABSORPTION FROM SNOW OR RAIN.
17. NO WOOD MEMBERS SHALL BE NOTCHED OR DRILLED WITH HOLES WITHOUT THE SPECIFIC APPROVAL OF THE A/E.
18. NO WOOD MEMBERS SHALL BE REPAIRED OR REINFORCED IN ANY WAY WITHOUT THE SPECIFIC APPROVAL OF THE A/E.
19. ALL LUMBER IN CONTACT WITH THE WEATHER, GROUND, OR CONCRETE SHALL BE PRESSURE TREATED.
20. ALL SOLID SAWN LUMBER IS INDICATED BY NOMINAL SIZE.
21. MATERIAL PROPERTIES OF WOOD SHALL CONFORM TO THE FOLLOWING:

2" NOMINAL THICKNESS, SPF #172 OR BETTER (15% MAX MC)	
ALLOWABLE BENDING STRESS (fb):	875 psi (SINGLE MEMBER USE) 1000 psi (MULTIPLE MEMBER USE)
ALLOWABLE SHEAR STRESS (fv):	135 psi
COMPRESSION PARALLEL TO GRAIN:	1150 psi
COMPRESSION PERPENDICULAR TO GRAIN:	425 psi
MODULUS OF ELASTICITY (E):	1,400,000 psi

1. THE CONTRACTOR SHALL NOTIFY THE A/E WHEN, IN THE COURSE OF CONSTRUCTION OR DEMOLITION, CONDITIONS ARE UNCOVERED WHICH ARE UNANTICIPATED, OR OTHERWISE APPEAR TO PRESENT A DANGEROUS CONDITION.
2. INFORMATION REGARDING THE EXISTING CONSTRUCTION OR CONDITIONS IS BASED ON AVAILABLE RECORD DRAWINGS, WHICH MAY OR MAY NOT REFLECT EXISTING CONDITIONS. SUCH INFORMATION IS INCLUDED ON ASSUMPTION THAT IT MAY BE OF INTEREST TO THE CONTRACTOR, BUT THE A/E ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY OR COMPLETENESS.
3. VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS BEFORE PROCEEDING WITH WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE A/E BEFORE PROCEEDING WITH THAT PART OF THE WORK.
4. WHERE NEW WORK WILL BE ADJACENT TO EXISTING CONSTRUCTION, VERIFY DIMENSIONS OF EXISTING CONSTRUCTION PRIOR TO FABRICATION OF NEW MEMBERS.
5. DETAILS SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR SITUATIONS.
6. NOTIFY ARCHITECT OF ANY CONTEMPLATED STRUCTURAL ALTERATION IN REASONABLE TIME TO RENDER AND DOCUMENT THE A/E'S DECISION.
7. STRUCTURAL ALTERATION SHALL BE PROCEEDED BY ADEQUATE SHORING AND/OR BRACING.
8. SCREW-TYPE SHORING POSTS SHALL BE PROVIDED FOR EXISTING WORK DURING THE REMOVAL OF EXISTING BEARING WALLS AND STRUCTURAL MEMBERS, AND THE INSTALLATION OF NEW STRUCTURAL WORK.
9. TEMPORARY SHORES SHALL BE PLACED AS CLOSE AS PRACTICABLE TO THE EXISTING STRUCTURAL WORK BEING REMOVED.
10. HEADERS SHALL BE PLACED ACROSS THE TOP OF SHORING POSTS AND SHALL BE SNUG AND TIGHT AGAINST THE UNDERSIDE OF THE STRUCTURE ABOVE.
11. SHORING SHALL BEAR ON SLEEPERS TO PREVENT DAMAGE TO THE STRUCTURE BELOW.
12. TEMPORARY SHORES SHALL BE INDIVIDUALLY DESIGNED, ERECTED, SUPPORTED, BRACED, AND MAINTAINED BY THE CONTRACTOR TO SAFELY SUPPORT ALL DEAD LOADS CARRIED BY THE EXISTING STRUCTURAL WORK BEING REMOVED, AS WELL AS ANY CONSTRUCTION LIVE LOADS.
13. SHORES SHALL BE RELEASED GRADUALLY AND LEFT LOOSELY IN PLACE FOR AT LEAST 2 DAYS TO ALLOW FOR STRUCTURAL SHAKE OUT.

STRUCTURAL STEEL FABRICATION SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) CURRENT EDITIONS OF THE "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STEEL" THE "SPECIFICATION FOR STRUCTURAL STEEL JOINTS USING ASTM A325 AND A490 BOLTS" AND THE CURRENT EDITION OF THE AMERICAN WELDING SOCIETY (AWS) "D1: STRUCTURAL WELDING CODE - STEEL".

2. STRUCTURAL STEEL SHALL BE DETAILED IN ACCORDANCE WITH THE AISC "DETAILING FOR STEEL CONSTRUCTION" AND, WHERE REQUIRED, DESIGNED IN ACCORDANCE WITH CITED REFERENCES AND LOADING CONDITIONS.

3. STRUCTURAL STEEL DETAILS NOT SPECIFICALLY SHOWN SHALL BE TAKEN AS SIMILAR TO THOSE SHOWN FOR THE MOST NEARLY SIMILAR CONDITION AS DETERMINED BY THE A/E.

4. STRUCTURAL STEEL SHALL BE NEW STEEL CONFORMING TO THE FOLLOWING, UNCO:

WIDE FLANGE	ASTM A992 (FY = 50,000 PSI)
ANGLES	ASTM A36 (FY = 36,000 PSI)
CHANNELS	ASTM A36 (FY = 36,000 PSI)
PLATES	ASTM A36 (FY = 36,000 PSI)
HSS TUBES	ASTM A500, GRADE B (FY = 42,000 PSI)
STEEL PIPES	ASTM A53, GRADE B (FY = 35,000 PSI)
ANCHOR BOLTS	ASTM A307 OR ASTM F1554, GRADE 105
HIGH STRENGTH BOLTS	ASTM A325

5. ALL BOLTED CONNECTIONS SHALL BE MADE WITH 1/2" DIAMETER HIGH STRENGTH BOLTS, UNCO.

6. ANCHOR BOLTS, LEVELING PLATES, OR BEARING PLATES SHALL BE LOCATED AND BUILT INTO THE CONNECTING WORK, PRESET BY TEMPLATES OR SIMILAR METHODS. PLATES SHALL BE SET IN FULL BEDS OF NON-SHRINKING GROUT.

7. WELDS SHALL BE MADE BY CERTIFIED WELDERS USING FILLER METAL CONFORMING TO E70XX.

8. SHOP FABRICATE TO THE GREATEST EXTENT POSSIBLE, INCLUDING BEAM STIFFENERS, COLUMN CAPS AND BASES, HOLES, AND CONNECTIONS.

9. SUBMIT SHOP DRAWINGS FROM FIELD DIMENSIONS FOR THE A/E'S APPROVAL PRIOR TO FABRICATION.

10. STEEL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH STOCK. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.

11. PROVIDE ANCHOR BOLTS, STEEL WEDGES, THREADED SCREWS OR SHIMS TO SUPPORT AND PLUMB ALL COLUMNS. GROUT SOLID UNDER BASE PLATES IMMEDIATELY AFTER COLUMNS ARE PLUMB.

12. PROVIDE TEMPORARY ERECTION BRACING AND SUPPORTS TO HOLD THE STRUCTURAL STEEL FRAMING SECURELY IN POSITION. SUCH TEMPORARY BRACING AND SUPPORT SHALL NOT BE REMOVED UNTIL PERMANENT BRACING HAS BEEN INSTALLED.

13. STRUCTURAL STEEL SHALL BE TRUE AND PLUMB BEFORE CONNECTIONS ARE FINALLY BOLTED OR WELDED.

14. FIELD CUTTING, OR MODIFICATIONS OF STRUCTURAL STEEL SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE A/E FOR EACH SPECIFIC CASE.

TYPICAL FASTENING REQUIREMENTS FOR WOOD FRAMING (PER 2015 IRC)					
MEMBER INTERSECTION			MEMBER INTERSECTION		
MEMBER INTERSECTION	NUMBER OF FASTENERS (SEE NOTES FOR SIZE INFO.)	SPACING & LOCATION/TYPE	MEMBER INTERSECTION	NUMBER OF FASTENERS (SEE NOTES FOR SIZE INFO.)	SPACING & LOCATION/TYPE
BLOODING BETWEEN CEILING JOIST OR RAFTERS TO TOP PLATE	#4 @ 6" OC OR #2 @ 6" OC OR #2 @ 16" OC OR #4 @ 16" OC OR #4 @ 24" OC OR #4 @ 36" OC OR #4 @ 48" OC OR #4 @ 72" OC OR #4 @ 96" OC OR #4 @ 120" OC OR #4 @ 144" OC OR #4 @ 168" OC OR #4 @ 192" OC OR #4 @ 216" OC OR #4 @ 240" OC OR #4 @ 264" OC OR #4 @ 288" OC OR #4 @ 312" OC OR #4 @ 336" OC OR #4 @ 360" OC OR #4 @ 384" OC OR #4 @ 408" OC OR #4 @ 432" OC OR #4 @ 456" OC OR #4 @ 480" OC OR #4 @ 504" OC OR #4 @ 528" OC OR #4 @ 552" OC OR #4 @ 576" OC OR #4 @ 600" OC OR #4 @ 624" OC OR #4 @ 648" OC OR #4 @ 672" OC OR #4 @ 696" OC OR #4 @ 720" OC OR #4 @ 744" OC OR #4 @ 768" OC OR #4 @ 792" OC OR #4 @ 816" OC OR #4 @ 840" OC OR #4 @ 864" OC OR #4 @ 888" OC OR #4 @ 912" OC OR #4 @ 936" OC OR #4 @ 960" OC OR #4 @ 984" OC OR #4 @ 1008" OC OR #4 @ 1032" OC OR #4 @ 1056" OC OR #4 @ 1080" OC OR #4 @ 1104" OC OR #4 @ 1128" OC OR #4 @ 1152" OC OR #4 @ 1176" OC OR #4 @ 1200" OC OR #4 @ 1224" OC OR #4 @ 1248" OC OR #4 @ 1272" OC OR #4 @ 1296" OC OR #4 @ 1320" OC OR #4 @ 1344" OC OR #4 @ 1368" OC OR #4 @ 1392" OC OR #4 @ 1416" OC OR #4 @ 1440" OC OR #4 @ 1464" OC OR #4 @ 1488" OC OR #4 @ 1512" OC OR #4 @ 1536" OC OR #4 @ 1560" OC OR #4 @ 1584" OC OR #4 @ 1608" OC OR #4 @ 1632" OC OR #4 @ 1656" OC OR #4 @ 1680" OC OR #4 @ 1704" OC OR #4 @ 1728" OC OR #4 @ 1752" OC OR #4 @ 1776" OC OR #4 @ 1800" OC OR #4 @ 1824" OC OR #4 @ 1848" OC OR #4 @ 1872" OC OR #4 @ 1896" OC OR #4 @ 1920" OC OR #4 @ 1944" OC OR #4 @ 1968" OC OR #4 @ 1992" OC OR #4 @ 2016" OC OR #4 @ 2040" OC OR #4 @ 2064" OC OR #4 @ 2088" OC OR #4 @ 2112" OC OR #4 @ 2136" OC OR #4 @ 2160" OC OR #4 @ 2184" OC OR #4 @ 2208" OC OR #4 @ 2232" OC OR #4 @ 2256" OC OR #4 @ 2280" OC OR #4 @ 2304" OC OR #4 @ 2328" OC OR #4 @ 2352" OC OR #4 @ 2376" OC OR #4 @ 2400" OC OR #4 @ 2424" OC OR #4 @ 2448" OC OR #4 @ 2472" OC OR #4 @ 2496" OC OR #4 @ 2520" OC OR #4 @ 2544" OC OR #4 @ 2568" OC OR #4 @ 2592" OC OR #4 @ 2616" OC OR #4 @ 2640" OC OR #4 @ 2664" OC OR #4 @ 2688" OC OR #4 @ 2712" OC OR #4 @ 2736" OC OR #4 @ 2760" OC OR #4 @ 2784" OC OR #4 @ 2808" OC OR #4 @ 2832" OC OR #4 @ 2856" OC OR #4 @ 2880" OC OR #4 @ 2904" OC OR #4 @ 2928" OC OR #4 @ 2952" OC OR #4 @ 2976" OC OR #4 @ 3000" OC OR #4 @ 3024" OC OR #4 @ 3048" OC OR #4 @ 3072" OC OR #4 @ 3096" OC OR #4 @ 3120" OC OR #4 @ 3144" OC OR #4 @ 3168" OC OR #4 @ 3192" OC OR #4 @ 3216" OC OR #4 @ 3240" OC OR #4 @ 3264" OC OR #4 @ 3288" OC OR #4 @ 3312" OC OR #4 @ 3336" OC OR #4 @ 3360" OC OR #4 @ 3384" OC OR #4 @ 3408" OC OR #4 @ 3432" OC OR #4 @ 3456" OC OR #4 @ 3480" OC OR #4 @ 3504" OC OR #4 @ 3528" OC OR #4 @ 3552" OC OR #4 @ 3576" OC OR #4 @ 3600" OC OR #4 @ 3624" OC OR #4 @ 3648" OC OR #4 @ 3672" OC OR #4 @ 3696" OC OR #4 @ 3720" OC OR #4 @ 3744" OC OR #4 @ 3768" OC OR #4 @ 3792" OC OR #4 @ 3816" OC OR #4 @ 3840" OC OR #4 @ 3864" OC OR #4 @ 3888" OC OR #4 @ 3912" OC OR #4 @ 3936" OC OR #4 @ 3960" OC OR #4 @ 3984" OC OR #4 @ 4008" OC OR #4 @ 4032" OC OR #4 @ 4056" OC OR #4 @ 4080" OC OR #4 @ 4104" OC OR #4 @ 4128" OC OR #4 @ 4152" OC OR #4 @ 4176" OC OR #4 @ 4200" OC OR #4 @ 4224" OC OR #4 @ 4248" OC OR #4 @ 4272" OC OR #4 @ 4296" OC OR #4 @ 4320" OC OR #4 @ 4344" OC OR #4 @ 4368" OC OR #4 @ 4392" OC OR #4 @ 4416" OC OR #4 @ 4440" OC OR #4 @ 4464" OC OR #4 @ 4488" OC OR #4 @ 4512" OC OR #4 @ 4536" OC OR #4 @ 4560" OC OR #4 @ 4584" OC OR #4 @ 4608" OC OR #4 @ 4632" OC OR #4 @ 4656" OC OR #4 @ 4680" OC OR #4 @ 4704" OC OR #4 @ 4728" OC OR #4 @ 4752" OC OR #4 @ 4776" OC OR #4 @ 4800" OC OR #4 @ 4824" OC OR #4 @ 4848" OC OR #4 @ 4872" OC OR #4 @ 4896" OC OR #4 @ 4920" OC OR #4 @ 4944" OC OR #4 @ 4968" OC OR #4 @ 4992" OC OR #4 @ 5016" OC OR #4 @ 5040" OC OR #4 @ 5064" OC OR #4 @ 5088" OC OR #4 @ 5112" OC OR #4 @ 5136" OC OR #4 @ 5160" OC OR #4 @ 5184" OC OR #4 @ 5208" OC OR #4 @ 5232" OC OR #4 @ 5256" OC OR #4 @ 5280" OC OR #4 @ 5304" OC OR #4 @ 5328" OC OR #4 @ 5352" OC OR #4 @ 5376" OC OR #4 @ 5400" OC OR #4 @ 5424" OC OR #4 @ 5448" OC OR #4 @ 5472" OC OR #4 @ 5496" OC OR #4 @ 5520" OC OR #4 @ 5544" OC OR #4 @ 5568" OC OR #4 @ 5592" OC OR #4 @ 5616" OC OR #4 @ 5640" OC OR #4 @ 5664" OC OR #4 @ 5688" OC OR #4 @ 5712" OC OR #4 @ 5736" OC OR #4 @ 5760" OC OR #4 @ 5784" OC OR #4 @ 5808" OC OR #4 @ 5832" OC OR #4 @ 5856" OC OR #4 @ 5880" OC OR #4 @ 5904" OC OR #4 @ 5928" OC OR #4 @ 5952" OC OR #4 @ 5976" OC OR #4 @ 6000" OC OR #4 @ 6024" OC OR #4 @ 6048" OC OR #4 @ 6072" OC OR #4 @ 6096" OC OR #4 @ 6120" OC OR #4 @ 6144" OC OR #4 @ 6168" OC OR #4 @ 6192" OC OR #4 @ 6216" OC OR #4 @ 6240" OC OR #4 @ 6264" OC OR #4 @ 6288" OC OR #4 @ 6312" OC OR #4 @ 6336" OC OR #4 @ 6360" OC OR #4 @ 6384" OC OR #4 @ 6408" OC OR #4 @ 6432" OC OR #4 @ 6456" OC OR #4 @ 6480" OC OR #4 @ 6504" OC OR #4 @ 6528" OC OR #4 @ 6552" OC OR #4 @ 6576" OC OR #4 @ 6600" OC OR #4 @ 6624" OC OR #4 @ 6648" OC OR #4 @ 6672" OC OR #4 @ 6696" OC OR #4 @ 6720" OC OR #4 @ 6744" OC OR #4 @ 6768" OC OR #4 @ 6792" OC OR #4 @ 6816" OC OR #4 @ 6840" OC OR #4 @ 6864" OC OR #4 @ 6888" OC OR #4 @ 6912" OC OR #4 @ 6936" OC OR #4 @ 6960" OC OR #4 @ 6984" OC OR #4 @ 7008" OC OR #4 @ 7032" OC OR #4 @ 7056" OC OR #4 @ 7080" OC OR #4 @ 7104" OC OR #4 @ 7128" OC OR #4 @ 7152" OC OR #4 @ 7176" OC OR #4 @ 7200" OC OR #4 @ 7224" OC OR #4 @ 7248" OC OR #4 @ 7272" OC OR #4 @ 7296" OC OR #4 @ 7320" OC OR #4 @ 7344" OC OR #4 @ 7368" OC OR #4 @ 7392" OC OR #4 @ 7416" OC OR #4 @ 7440" OC OR #4 @ 7464" OC OR #4 @ 7488" OC OR #4 @ 7512" OC OR #4 @ 7536" OC OR #4 @ 7560" OC OR #4 @ 7584" OC OR #4 @ 7608" OC OR #4 @ 7632" OC OR #4 @ 7656" OC OR #4 @ 7680" OC OR #4 @ 7704" OC OR #4 @ 7728" OC OR #4 @ 7752" OC OR #4 @ 7776" OC OR #4 @ 7800" OC OR #4 @ 7824" OC OR #4 @ 7848" OC OR #4 @ 7872" OC OR #4 @ 7896" OC OR #4 @ 7920" OC OR #4 @ 7944" OC OR #4 @ 7968" OC OR #4 @ 7992" OC OR #4 @ 8016" OC OR #4 @ 8040" OC OR #4 @ 8064" OC OR #4 @ 8088" OC OR #4 @ 8112" OC OR #4 @ 8136" OC OR #4 @ 8160" OC OR #4 @ 8184" OC OR #4 @ 8208" OC OR #4 @ 8232" OC OR #4 @ 8256" OC OR #4 @ 8280" OC OR #4 @ 8304" OC OR #4 @ 8328" OC OR #4 @ 8352" OC OR #4 @ 8376" OC OR #4 @ 8400" OC OR #4 @ 8424" OC OR #4 @ 8448" OC OR #4 @ 8472" OC OR #4 @ 8496" OC OR #4 @ 8520" OC OR #4 @ 8544" OC OR #4 @ 8568" OC OR #4 @ 8592" OC OR #4 @ 8616" OC OR #4 @ 8640" OC OR #4 @ 8664" OC OR #4 @ 8688" OC OR #4 @ 8712" OC OR #4 @ 8736" OC OR #4 @ 8760" OC OR #4 @ 8784" OC OR #4 @ 8808" OC OR #4 @ 8832" OC OR #4 @ 8856" OC OR #4 @ 8880" OC OR #4 @ 8904" OC OR #4 @ 8928" OC OR #4 @ 8952" OC OR #4 @ 8976" OC OR #4 @ 9000" OC OR #4 @ 9024" OC OR #4 @ 9048" OC OR #4 @ 9072" OC OR #4 @ 9096" OC OR #4 @ 9120" OC OR #4 @ 9144" OC OR #4 @ 9168" OC OR #4 @ 9192" OC OR #4 @ 9216" OC OR #4 @ 9240" OC OR #4 @ 9264" OC OR #4 @ 9288" OC OR #4 @ 9312" OC OR #4 @ 9336" OC OR #4 @ 9360" OC OR #4 @ 9384" OC OR #4 @ 9408" OC OR #4 @ 9432" OC OR #4 @ 9456" OC OR #4 @ 9480" OC OR #4 @ 9504" OC OR #4 @ 9528" OC OR #4 @ 9552" OC OR #4 @ 9576" OC OR #4 @ 9600" OC OR #4 @ 9624" OC OR #4 @ 9648" OC OR #4 @ 9672" OC OR #4 @ 9696" OC OR #4 @ 9720" OC OR #4 @ 9744" OC OR #4 @ 9768" OC OR #4 @ 9792" OC OR #4 @ 9816" OC OR #4 @ 9840" OC OR #4 @ 9864" OC OR #4 @ 9888" OC OR #4 @ 9912" OC OR #4 @ 9936" OC OR #4 @ 9960" OC OR #4 @ 9984" OC OR #4 @ 10000" OC OR	FACE NAIL FACE			

BOY'S NAIL SIZES		COMMON NAIL	STAPLES: 175X06GA W/1" CROWN (UNLESS OTHERWISE NOTED)
8 1/2	1 1/2 X 1 1/2"	1 1/2 X 1 1/2"	
9 1/2	1 7/8 X 1 3/8"	1 7/8 X 1 3/8"	
10 1/2	2 1/8 X 1 3/8"	2 1/8 X 1 3/8"	
11 1/2	2 1/2 X 1 3/8"	2 1/2 X 1 3/8"	

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NO COPYING OR EXPLOITATION  
NO ALTERATIONS  
63 of 130 UNAUTHORIZED USE  
WITHOUT APPROVAL OF CATE WALTMAN 2022

**ATTENTION**  
THIS WORK IS INTENDED TO BE INCORPORATED INTO A BROADER SCOPE OF WORK, AND DOES NOT INCLUDE ANALYSIS OF DESIGN OF MEMBERS NOT SHOWN.  
IT IS IMPORTANT FOR THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT THIS PROJECT IS CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE STATE CODES, LOCAL CODES AND ORDINANCES. NO OMISSION FROM THESE PLANS GIVES PERMISSION FOR VIOLATION OF ANY CODE OR ORDINANCE.



Catharine W. H. J. J.

**GENERAL NOTES**  
PRINT DATE: Thursday, April 14, 2022  
SCALE: AS NOTED

SHEET NO.  
S0

**WALTMAN STRUCTURAL SERVICES**

MA Office	ME Office
32A Fairmont Street	105 Ledge Drive
Arlington, MA 02474	Leeds, ME 04263
(971) 344-7124	(207) 370-0801
	WaltmanStructural.com



**CROWLEY RESIDENCE**  
49 VALENTINE RD.  
ARLINGTON, MA 02476

**WALTMAN STRUCTURAL SERVICES**  
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 32A Fairmont Street  
 Arlington, MA 02474  
 (978) 344-7124  
 ME Office  
 105 Lodge Drive  
 Leeds, ME 04263  
 (207) 370-0801  
 WalthamStructural.com



**CROWLEY RESIDENCE**  
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 ARLINGTON, MA 02476

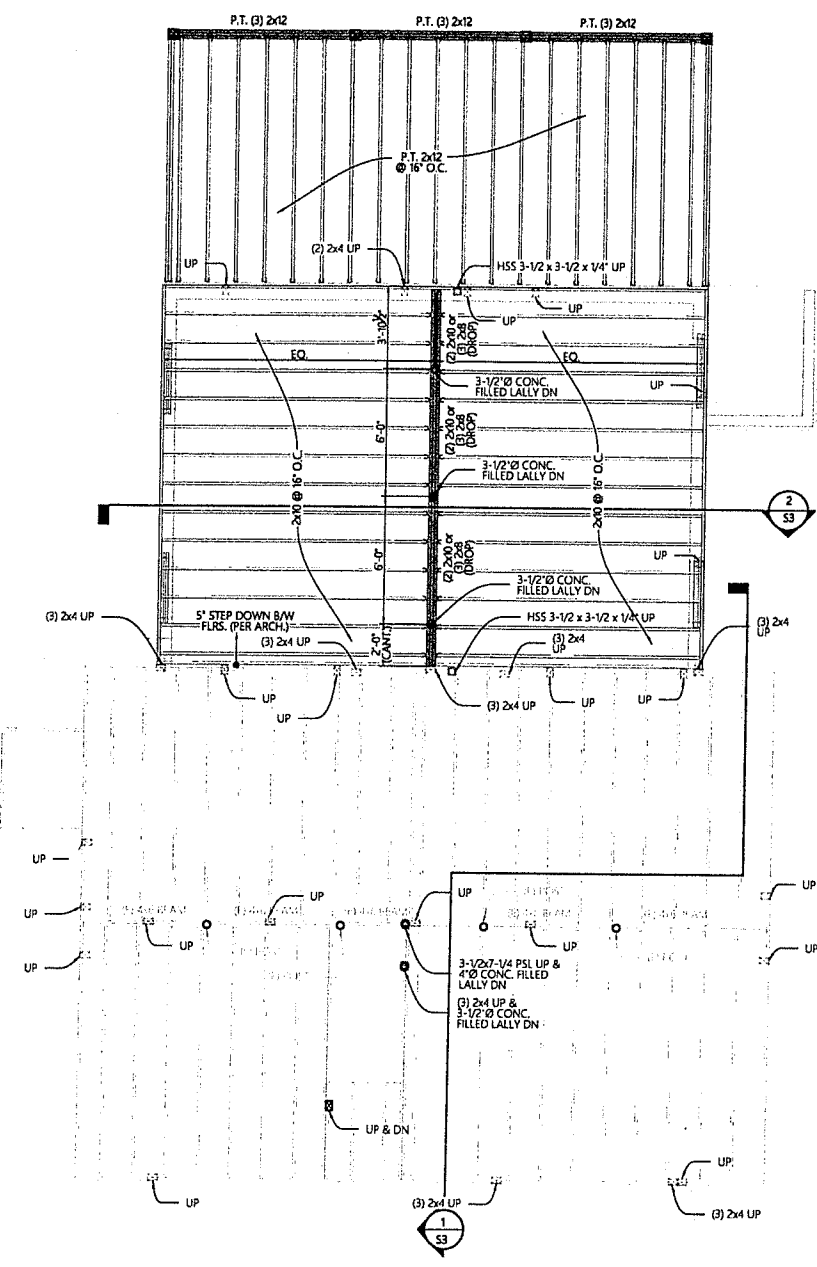
PROJECT DATE: 8/1/2022  
 REVISION: 00

**FOUNDATION & 1ST FLOOR**  
 PRINT DATE: Thursday, April 14, 2022  
 SCALE: AS NOTED

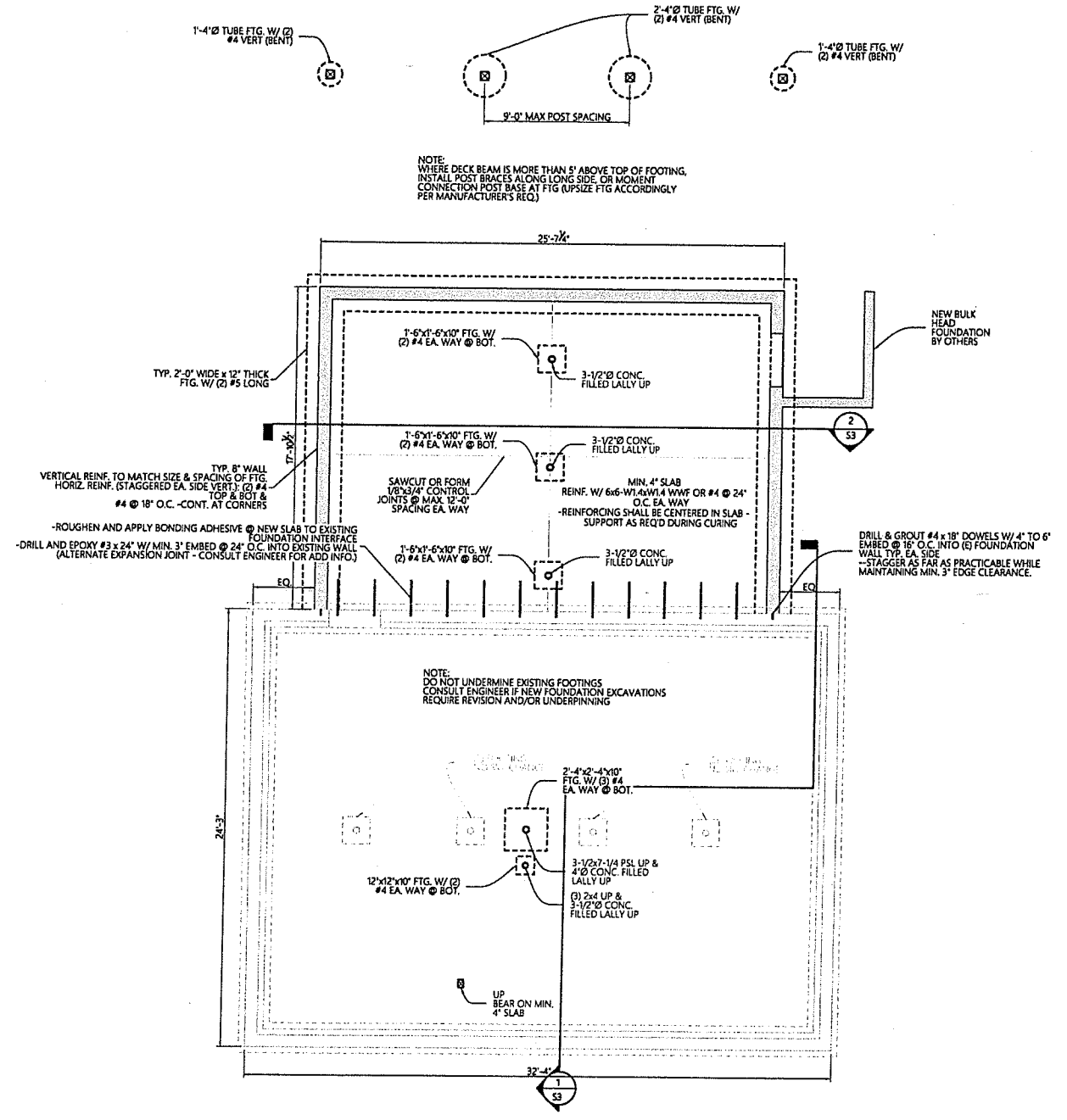
SHEET NO.  
**S1**



*Catherine Waltham*



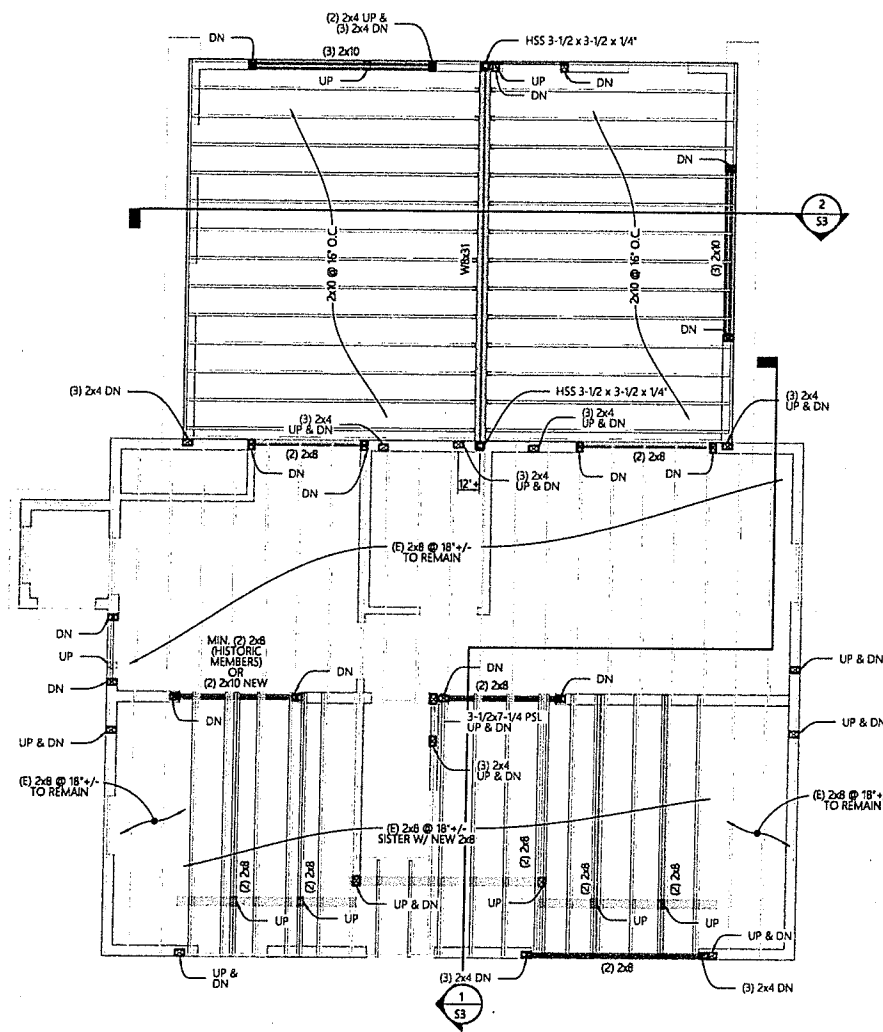
**FIRST FLOOR FRAMING**  
 SCALE: 1/4" = 1'-0"



**FOUNDATION**  
 SCALE: 1/4" = 1'-0"

- NOTES**
- ALL RAFTERS ARE MIN. 2x8 @ MAX. 16" O.C. UNLESS OTHERWISE NOTED (U.O.N.)
  - ALL JOISTS ARE MIN. 2x8 @ MAX. 18" O.C. U.O.N.
  - ALL POSTS ARE MIN. (2) 2x4 U.O.N.
- LEGEND**
- BEAM MEMBER
  - FRAMING MEMBER
  - NEW INTERIOR BEARING WALL (> 5% FROM ORIGINAL)
  - NEW INTERIOR BEARING WALL ABOVE
  - EXIST'G FLOOR BELOW
  - POST FROM ABOVE OR WITHIN LEVEL
  - ROOF LINE

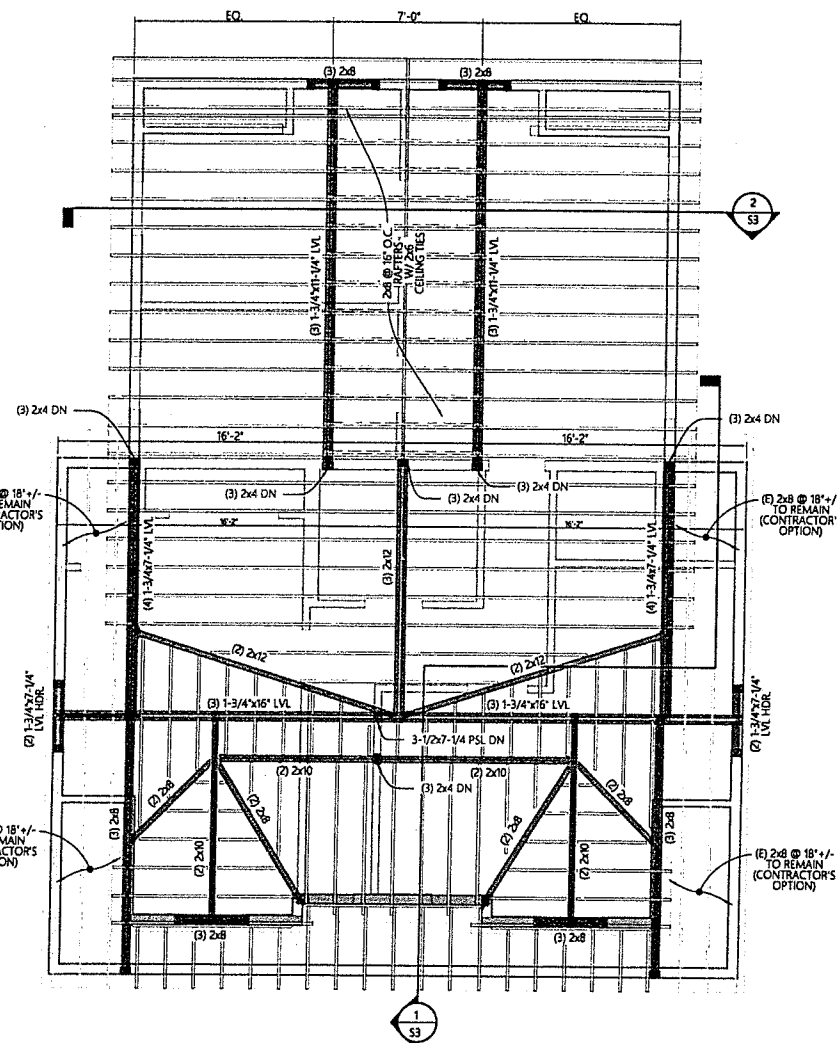
NOTE: FIELD VERIFY EXISTING FRAMING CONDITIONS. IF EXISTING MEMBERS ARE SHOWN INCORRECTLY, OR SHOW SIGNS OF DAMAGE OR DECAY, STOP WORK AND CONTACT ENGINEER FOR FURTHER DIRECTION.



SECOND FLOOR FRAMING  
SCALE: 1/4" = 1'-0"

- NOTES**
- ALL RAFTERS ARE MIN. 2x8 @ MAX 18" O.C. UNLESS OTHERWISE NOTED (U.O.N.)
  - ALL JOISTS ARE MIN. 2x8 @ MAX 18" O.C. U.O.N.
  - ALL POSTS ARE MIN. (2) 2x4 U.O.N.
- LEGEND**
- BEAM MEMBER
  - FRAMING MEMBER
  - NEW INTERIOR BEARING WALL (> 5% FROM ORIGINAL)
  - NEW INTERIOR BEARING WALL ABOVE
  - EXISTING FLOOR BELOW
  - POST FROM ABOVE OR WITHIN LEVEL
  - ROOF LINE

NOTE: FIELD VERIFY EXISTING FRAMING CONDITIONS. IF EXISTING MEMBERS ARE SHOWN INCORRECTLY, OR SHOW SIGNS OF DAMAGE OR DECAY, STOP WORK AND CONTACT ENGINEER FOR FURTHER DIRECTION.



ROOF FRAMING  
SCALE: 1/4" = 1'-0"



Catherine Waltham

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**CROWLEY RESIDENCE**  
49 VALENTINE RD.  
ARLINGTON, MA 02476

DRAWING NAME  
**SECOND FLOOR & ROOF**  
PRINT DATE: Thursday, April 14, 2022  
SCALE: AS NOTED

SHEET NO.  
**S2**

COORDINATE BEAM HEIGHT TO  
ALLOW FOR FACE HANGER, AND  
TO NOT INTERFERE WITH  
CEILING

MAIN NEW RIDGE BEAM

TIED CENTER ROOF

DOUBLE RIDGE BEAMS PER PLAN

STEEL BEAM PER PLAN

① EXISTING HOUSE SECTION  
SCALE: 1/2" = 1'-0"

② ADDITION SECTION  
SCALE: 1/2" = 1'-0"



Catherine R. Waltman

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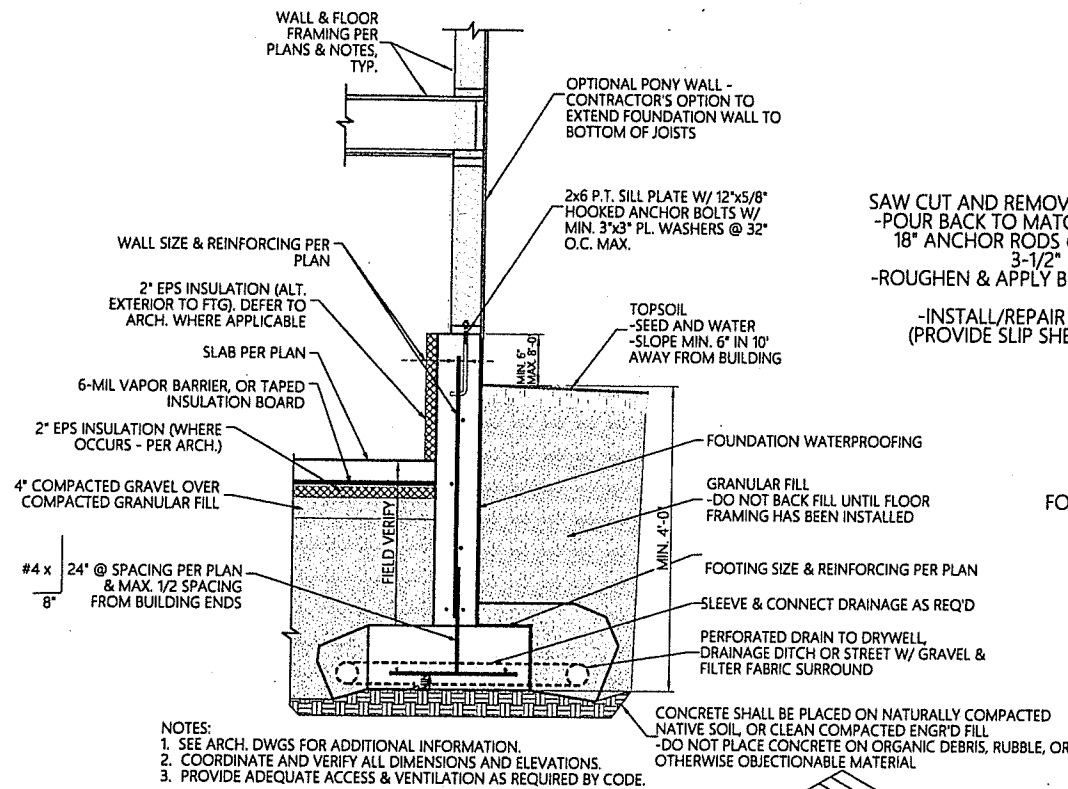


**CROWLEY RESIDENCE**  
49 VALENTINE RD.  
ARLINGTON, MA 02476

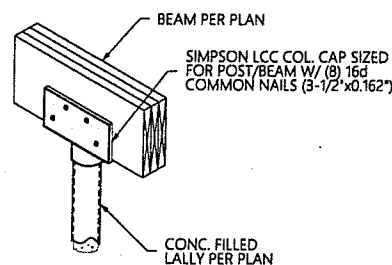
PROJECT DATE: 06/27/2020  
REVISION: 10

DRAWING NAME: SECTIONS  
PRINT DATE: Thursday, April 14, 2022  
SCALE: AS NOTED

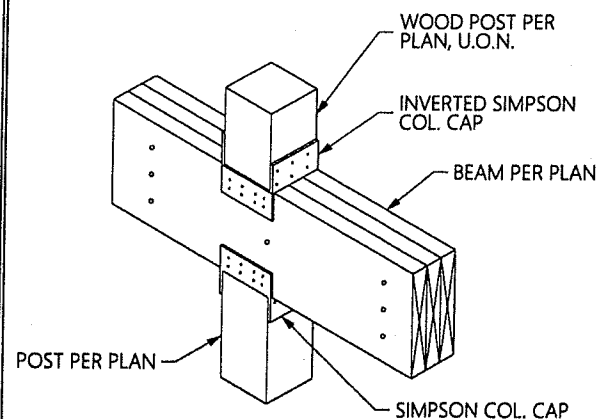
SHEET NO.  
**S3**



① FOUNDATION WALL  
SCALE: 3/4" = 1'-0"



② LALLY CAP  
SCALE: 1" = 1'-0"



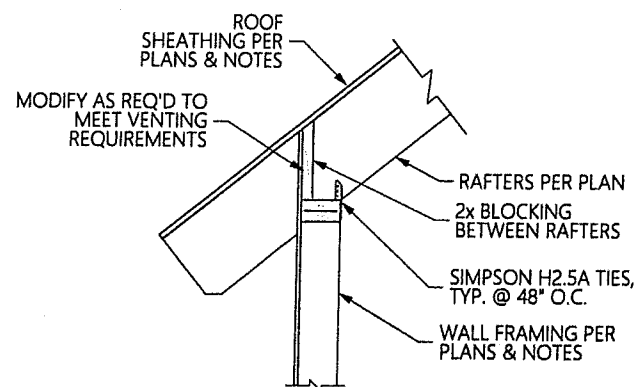
③ BEAM CARRY THROUGH POST  
SCALE: ISOMETRIC

NOTE:  
SEE MANUFACTURER'S INTERSECTION DETAIL FOR ADDITIONAL REQUIREMENTS AT POINT LOADS

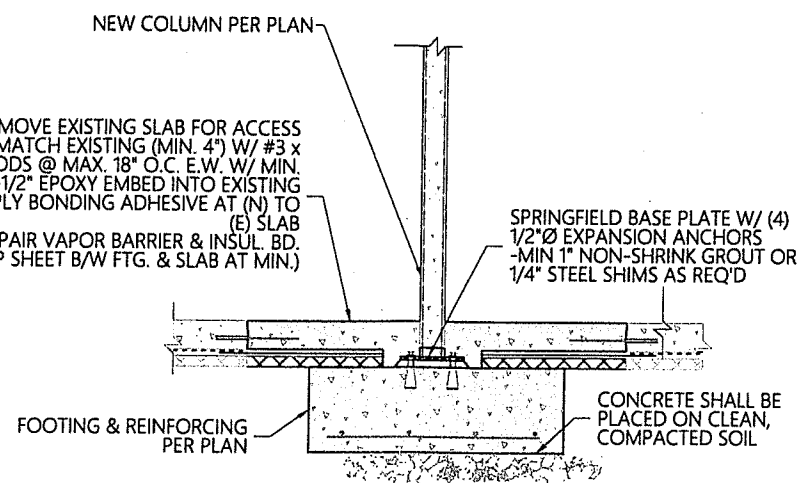
TOP LOAD (NAIL ONE SIDE 2 PLIES & BOTH SIDES 3 PLIES):  
≤ 11'-7/8" USE (2) ROWS 16d BOX/SINKER @ 12" O.C.  
≤ 14' ≥ 18" USE (3) ROWS 16d BOX/SINKER @ 12" O.C.  
= 24" USE (4) ROWS 16d BOX/SINKER @ 12" O.C.

SIDE LOAD (NAIL ONE SIDE 2 PLIES & BOTH SIDES 3 PLIES):  
≤ 9'-1/2" USE (2) ROWS 16d BOX/SINKER @ 12" O.C.  
≤ 11'-7/8" USE (3) ROWS 16d BOX/SINKER @ 12" O.C.  
≤ 14' USE (2) ROWS 1/2" Ø BOLTS @ 24" O.C.  
≤ 18" USE (2) ROWS 1/2" Ø BOLTS @ 12" O.C.  
≥ 18" USE (3) ROWS 1/2" Ø BOLTS @ 12" O.C.

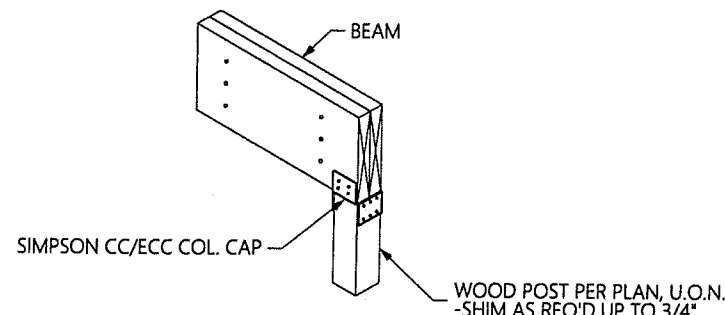
③ LVL PLY NAILING  
SCALE: 1" = 1'-0"



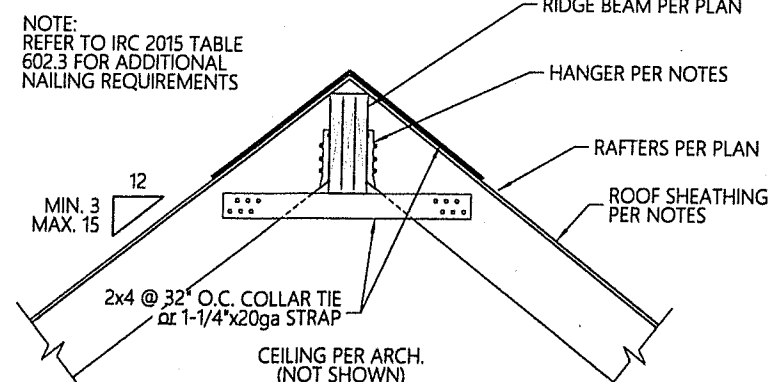
⑤ ROOF EAVE FRAMING  
SCALE: 3/4" = 1'-0"



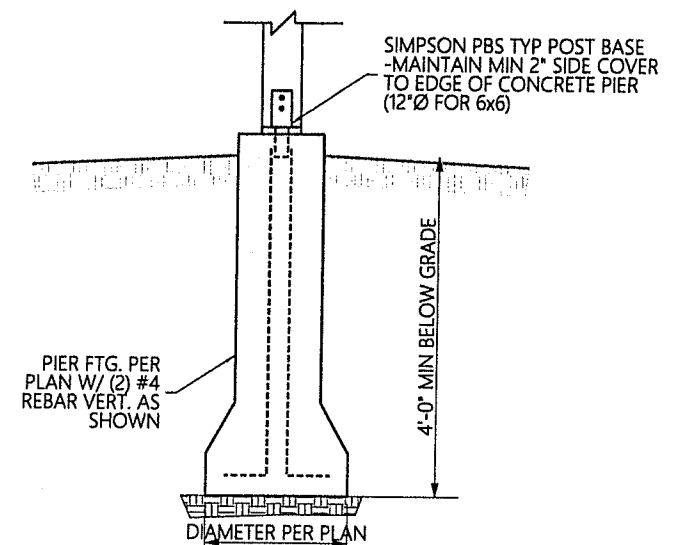
② NEW ISOLATED FOOTING  
SCALE: 1" = 1'-0"



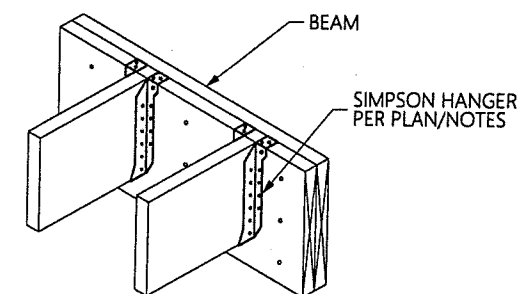
③ BEAM END POST  
SCALE: 1" = 1'-0"



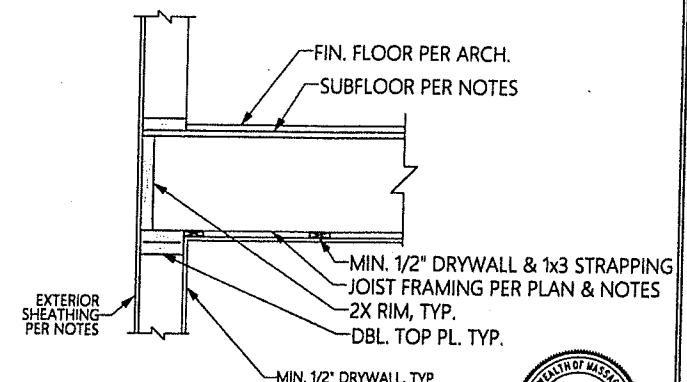
④ TYPICAL RIDGE BEAM FRAMING  
SCALE: 3/4" = 1'-0"



③ PIER FOOTING  
SCALE: 1" = 1'-0"



③ JOIST TO BEAM  
SCALE: 1" = 1'-0"



④ TYPICAL RIDGE BEAM FRAMING  
SCALE: 3/4" = 1'-0"

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Arlington, MA 02474  
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CROWLEY RESIDENCE  
49 VALENTINE RD.  
ARLINGTON, MA 02476

PROJECT DATE: 04/2022  
REVISION: 12

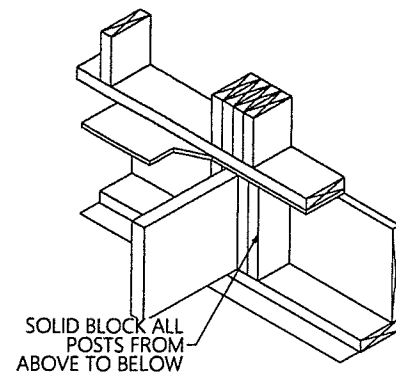
DRAWING NAME  
DETAILS  
PRINT DATE: Thursday, April 14, 2022  
SCALE: AS NOTED

SHEET NO.  
S4

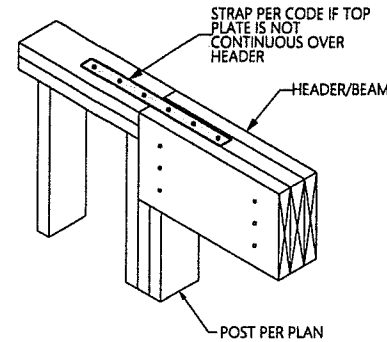


Catherine R. Waltman

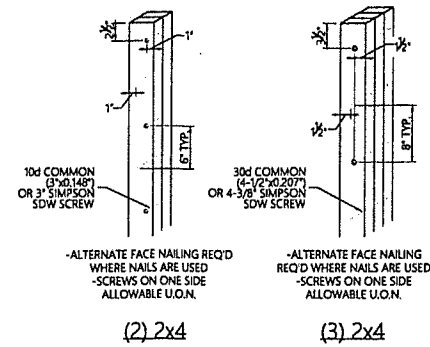




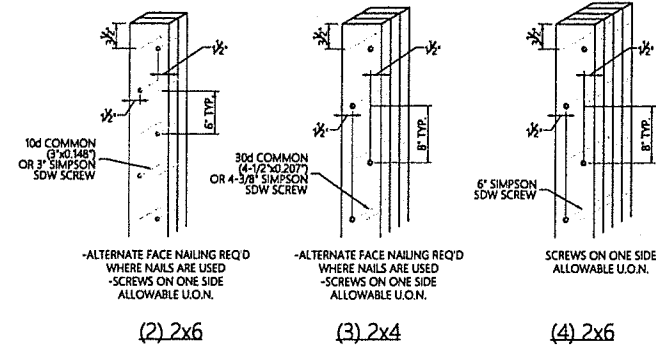
1 POSTS BETWEEN FLOORS  
SCALE: ISOMETRIC



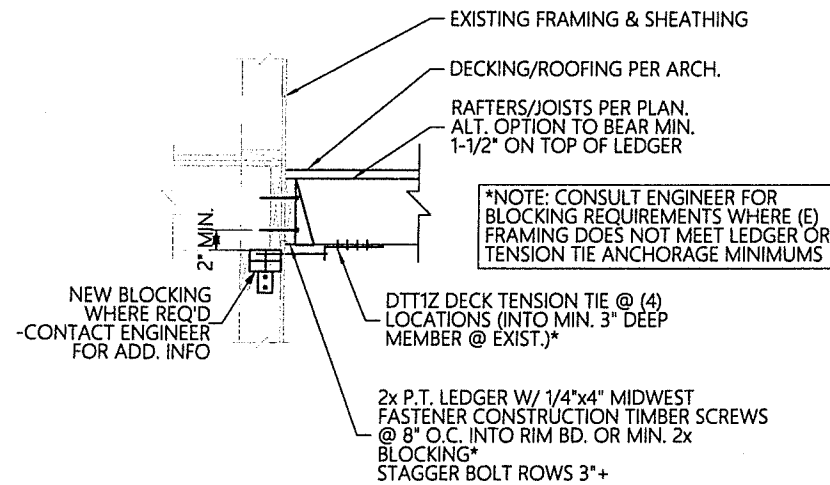
2 BEAM INTERRUPTING TOP PLATE  
SCALE: ISOMETRIC



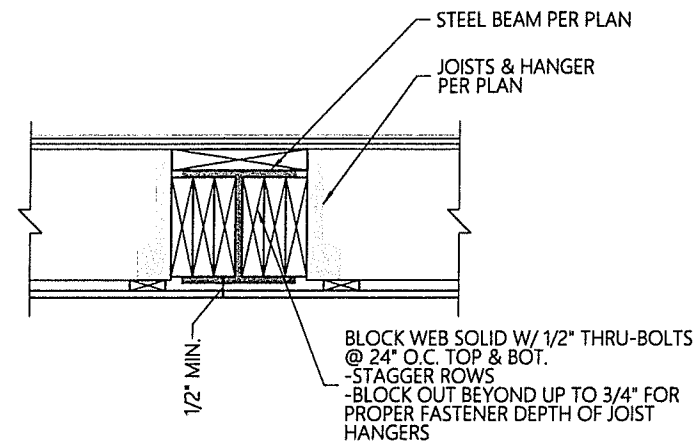
3 BUILT-UP 2x4 POST (2-PLY & 3-PLY)  
SCALE: ISOMETRIC



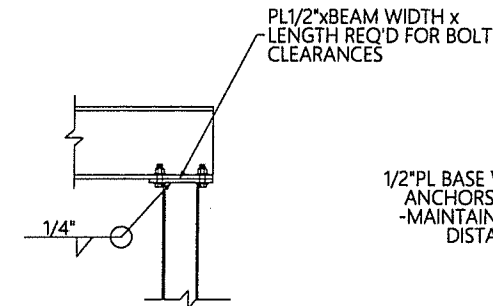
4 BUILT-UP 2x6 POST (2-PLY, 3-PLY & 4-PLY)  
SCALE: ISOMETRIC



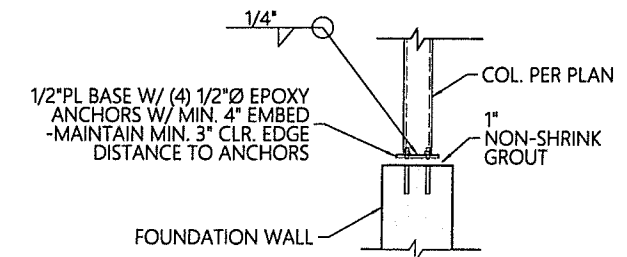
5 LEDGER @ EXISTING FRAMING  
SCALE: 1" = 1'-0"



6 STEEL BEAM BLOCK-OUT  
SCALE: 1" = 1'-0"



7 STEEL BEAM TO COL.  
SCALE: 1" = 1'-0"



8 STEEL POST BASE  
SCALE: 1" = 1'-0"

WALTMAN STRUCTURAL SERVICES  
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Arlington, MA 02474  
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Waltham Office  
105 Ledge Drive  
Leeds, ME 04263  
(207) 370-9801  
WalthamStructural.com



CROWLEY RESIDENCE  
49 VALENTINE RD.  
ARLINGTON, MA 02476

PROJECT DATE: 04/14/2022  
REVISION:

DRAWING NAME: DETAILS  
PRINT DATE: Thursday, April 14, 2022  
SCALE: AS NOTED

SHEET NO.  
S5



Catherine R. Waltman





## **Town of Arlington, Massachusetts**

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### **Docket # 3710 : 33 Varnum Street**

#### **ATTACHMENTS:**

Type	File Name	Description
▣ Reference Material	Memo_for_Docket_#3710_33_Varnum_St.pdf	Memo for Docket # 3710 33 Varnum Street
▣ Reference Material	ZBA_Package__33_Varnum_Street.pdf	ZBA Package, 33 Varnum Street



**TOWN OF ARLINGTON**  
DEPARTMENT OF PLANNING and  
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS 02476  
TELEPHONE 781-316-3090

**MEMORANDUM**

To: Zoning Board of Appeals  
From: Marisa Lau, Senior Planner, Dept. of Planning and Community Development  
Date: 8/24/2022  
RE: Docket 3710 – 33-35 Varnum St; Special Permit under Zoning Bylaw 8.1.3(B)  
Nonconforming Single-Family or Two-Family Dwellings

---

The applicant, Jennifer Cardettino, seeks a Special Permit in accordance with Section 8.1.3.B - Nonconforming Single-Family or Two-Family Dwellings of the Zoning Bylaw. The applicant seeks to construct an addition of two shed dormers for a two-family home and to make other interior renovations. The proposal would add 263 square feet of living area to the attic. The total square footage of the structure would increase from 3,103 SF to 3,366 SF under the proposal.

The structure is in the R2 Zoning District and is nonconforming with the Zoning Bylaw's lot size; front yard; and usable open space requirements. The applicant is not increasing the footprint of the existing structure. The addition would not increase any of the nonconformities of the existing structure.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted through a Special Permit in the R2 zoning district.

Criterion #2: Public Convenience/Welfare

The existing two-family use will not change. This proposal would simply provide additional living space to the upper unit. The Board can find that this condition is met.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

The existing two-family use will not change. There would not be an increase in traffic congestion or an impairment of public safety. The Board can find that this condition is met.

Criterion #4: Undue Burden on Municipal Systems

The existing two-family use will not change. There would not be an undue burden on municipal systems. The Board can find that this condition is met.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

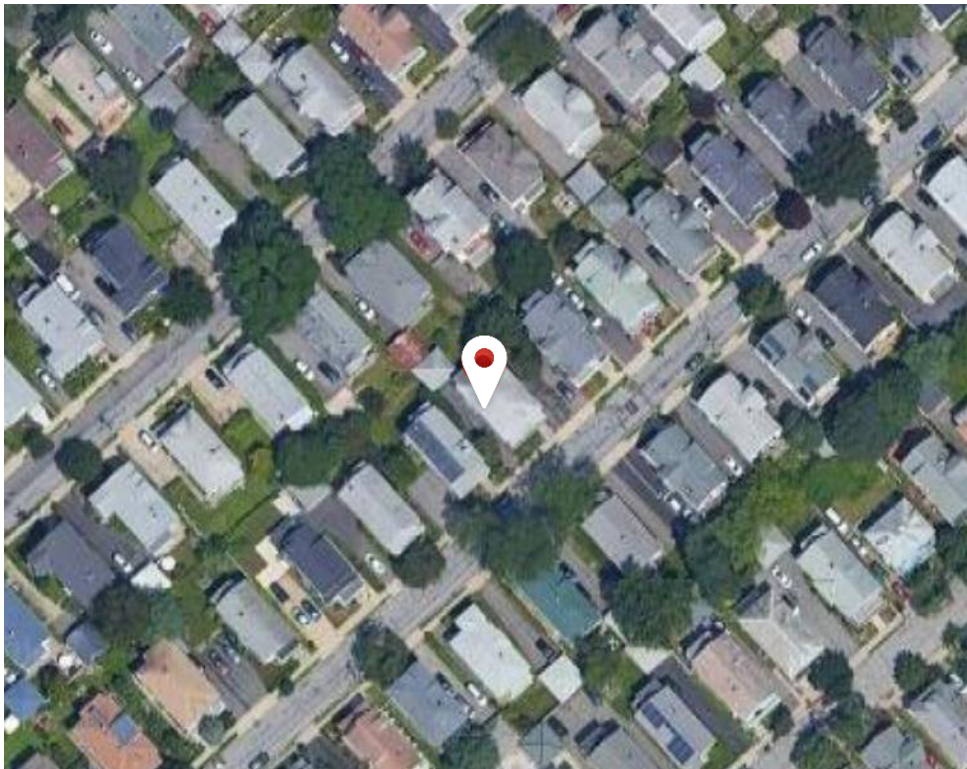
The homes in the vicinity of the property are primarily two-family structures. There are several nonconforming three-family structures to the east on Varnum Street. Large dormers are a prevalent feature throughout the neighborhood. While the proposed dormers will increase the structure's massing, the addition is sufficiently set back from the front façade so as to avoid adding significant appearance of height beyond two stories from the street. The applicant has also proposed a modified gable dormer for the stairwell at the rear of the structure.

Consistent with the Residential Design Guidelines, the addition will complement the style of the existing structure and adjacent homes in the neighborhood. Overall, the proposal would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property. However, the applicant is encouraged to explore the potential to adjust the location of the dormer window on the east elevation to better align with the window pattern on lower levels. The applicant may also wish to explore other alternatives for the rear dormer to make it a less dominant feature of the roof.<sup>1</sup>

Criterion #7: Detrimental Excess in Particular Use

There would not be any detrimental excesses. The Board can find that this condition has been met.

Below are aerial and street-based photos of the current building:



---

<sup>1</sup> Residential Design Guidelines, Principles B-1 (pg. 26) and C-1 (pg. 36).  
<https://www.arlingtonma.gov/home/showpublisheddocument?id=54518>



Recommendation:

The Department of Planning and Community Development (DPCD) maintains that the proposal is consistent with the Special Permit criteria and recommends that the Zoning Board of Appeals approve this application.

Related Dockets:

- #3706: 13-15 Adams St – Applicant sought a special permit to construct a dormer addition on a nonconforming lot in the R2 Zoning District. Approved 8/9/2022.
- #3700: 38-40 Newport St – Applicant sought a special permit to construct an addition of two shed dormers on a nonconforming lot in the R2 Zoning District. Approved 7/12/2022.
- #3698: 39 Tufts St – Applicant sought a special permit to expand their existing attic with an addition of two dormers and roof replacement on a two-family structure on a nonconforming lot in the R1 Zoning District. Approved 5/24/2022.
- #3666: 14-16 Egerton Rd – Applicant sought a special permit to construct a half-story addition by expanding their existing attic with a shed dormer and to add a second driveway on a two-family structure on a nonconforming lot in the R2 Zoning District. Approved 10/12/2021.



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

TOWN CLERK'S OFFICE  
ARLINGTON, MA 02476

2022 JUL 28 PM 4:08

RECEIVED

#### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Jennifer Cardettino** of Arlington, Massachusetts on July 15, 2022, a petition seeking permission to alter her property located at **33 Varnum Street- Block Plan 003.0-0004-0010.0** Said petition would require a Special Permit under **Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted on **Tuesday evening August 30, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard.** For the location and or "Zoom" information, visit the ZBA website at [www.arlingtonma.gov/zba](http://www.arlingtonma.gov/zba). This information will be posted within 48 hours of the hearing.

**DOCKET NO 3710**

**Zoning Board of Appeals**  
**Christian Klein, RA, Chair**

Please direct any questions to: **[ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)**

**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**

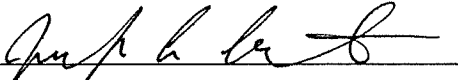
In the matter of the Application of Jennifer Cardettino (33 Varnum Street)  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

I am seeking relief from the Open Space, Usable requirement as the existing lot, which is remaining unchanged, does not comply with a 25 ft minimum dimension. This lot would, however, meet the requirements if it were a "newly constructed" dwelling unit with parking, as indicated in the Zoning Bylaw Section 2.

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 33 Varnum Street with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

The existing buildings on the lot do not allow for a 25 ft minimum dimension to meet the Open Space, Usable. The back yard is currently about 23 ft deep and the side yard about 19 ft wide. The proposed construction, however, does not change the footprint of the structures on the lot as it only adds dormers to the existing attic.

E-Mail: jcardettino@gmail.com Signed:  Date: 06/29/2022  
Telephone: 518-441-8013 Address: 33 Varnum Street

**Special Permit Criteria:** Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board’s determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.  
The property is in the R2 district and is compliant as a two-family dwelling. This is remaining unchanged as a two-family dwelling.

B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*  
The use is remaining unchanged.

C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*  
The use is remaining unchanged and no new dwellings are proposed.

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*  
The use is remaining unchanged and should therefore not change the effect on the municipal systems.

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

The use is remaining unchanged.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The use is remaining unchanged and proposed exterior modifications to the roofline are of similar character to the neighborhood.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The use is remaining unchanged.



**TOWN OF ARLINGTON**  
Dimensional and Parking Information  
For Applications to the Zoning Board of Appeals

1. Property Location: 33 Varnum St Zoning District: R2
2. Present Use/Occupancy: Residential/ Two-Family Dwelling No. of dwelling units 2
3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
3103 Sq. Ft.
4. Proposed Use/Occupancy: Residential/ Two-Family Dwelling No. of dwelling units 2
5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
3379 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	5200	5200	min. 6000
7. Frontage (Ft.)	60	60	min. 60
8. Floor area ratio	0.60	0.65	max. N.A.
9. Lot Coverage ( %)	24%	24%	max 35%
10. Lot Area per Dwelling Unit (Sq. Ft.)	2600	2600	min. N.A.
11. Front Yard Depth (Ft.)	9	9	min. N.A.
12. Left Side Yard Depth (Ft.)	11	11	min. N.A.
13. Right Side Yard Depth (Ft.)	19	19	min. N.A.
14. Rear Yard Depth (Ft.)	23	23	min. 20% or 17.3 ft
15. Height (Stories)	2.5	2.5	max. 2.5
16. Height (Ft.)	32	32	max. 35
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	1187	1187	
17A. Landscaped Open Space (% of GFA)	38%	35%	min. 10%
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	dims less than 25ft	unchanged	
18A. Usable Open Space (% of GFA)			min. 30%
19. Number of Parking Spaces	7	7	min. 2
20. Parking area setbacks (if applicable)			min.
21. Number of Loading Spaces (if applicable)			min.
22. Type of construction	V	V	N/A
23. Slope of proposed roof(s) (in. per ft.)	9	2	min. 2

TOWN OF ARLINGTON  
Open Space / Gross Floor Area Information  
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 33 Varnum St                      Zoning District: R2

<u>OPEN SPACE*</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Total lot area	<u>5200</u>	<u>5200</u>
Open Space, Usable	<u>dims less than 25ft</u>	<u>unchanged</u>
Open Space, Landscaped	<u>1187</u>	<u>1187</u>

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

GROSS FLOOR AREA (GFA) †

Accessory Building	<u></u>	<u></u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>410</u>	<u>410</u>
1 <sup>st</sup> Floor	<u>1263</u>	<u>1263</u>
2 <sup>nd</sup> Floor	<u>1270</u>	<u>1270</u>
3 <sup>rd</sup> Floor	<u></u>	<u></u>
4 <sup>th</sup> Floor	<u></u>	<u></u>
5 <sup>th</sup> Floor	<u></u>	<u></u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>160</u>	<u>423</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u></u>	<u></u>
All weather habitable porches and balconies	<u></u>	<u></u>
<b>Total Gross Floor Area (GFA)</b>	<b><u>3103</u></b>	<b><u>3379</u></b>

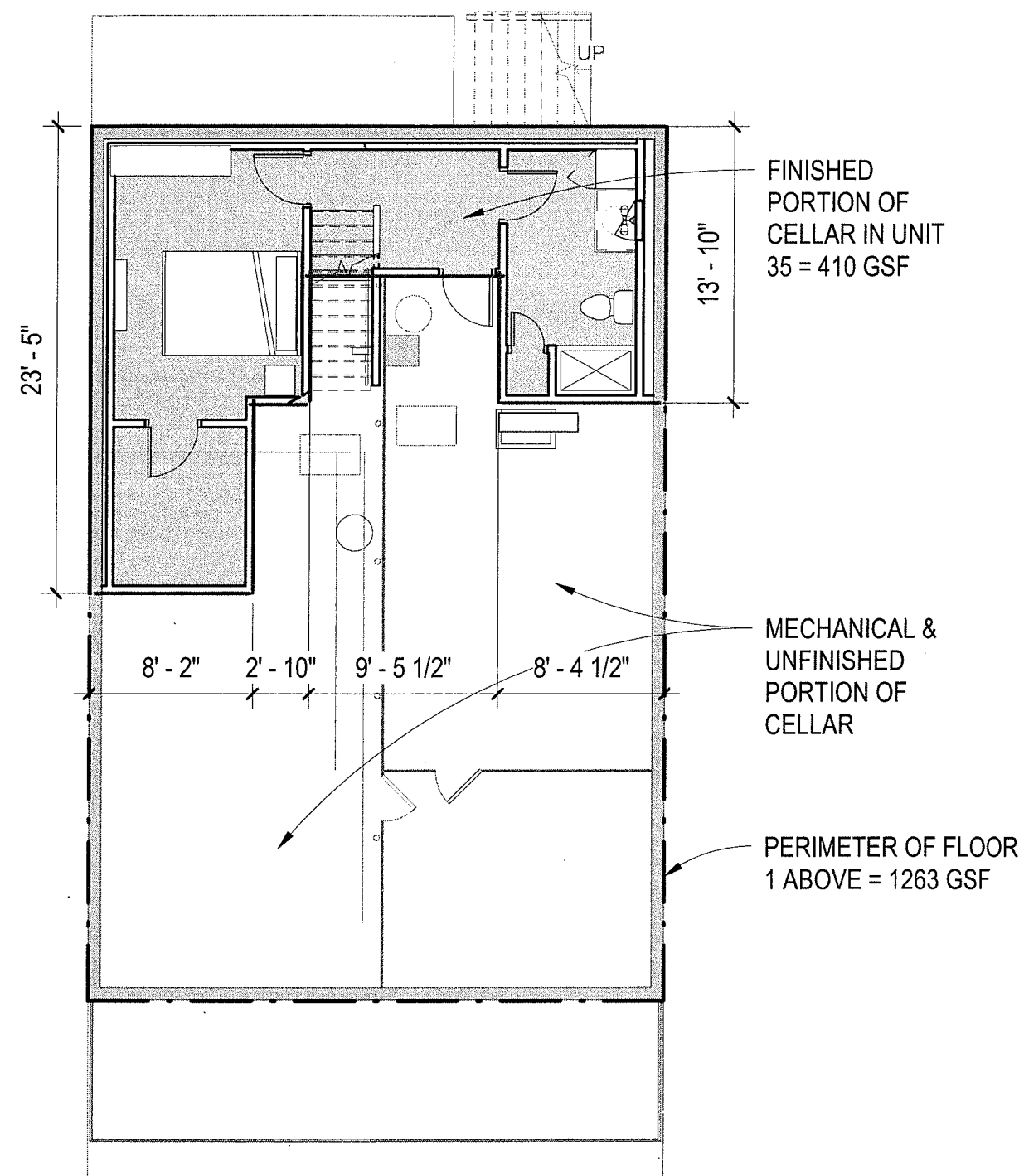
† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

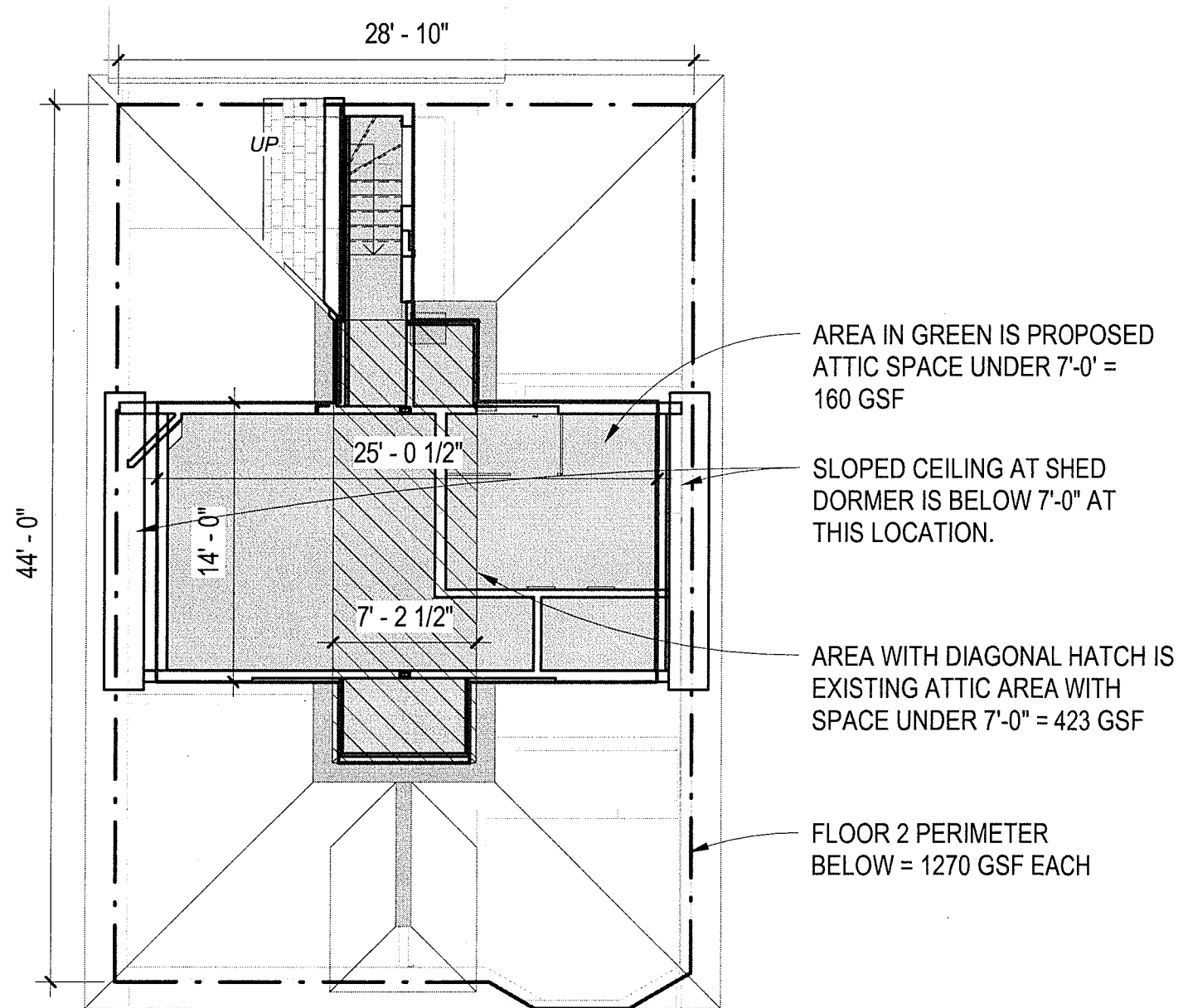
REQUIRED MINIMUM OPEN SPACE AREA

Landscaped Open Space (Sq. Ft.)	<u>1187</u>	<u>1187</u>
Landscaped Open Space (% of GFA)	<u>38%</u>	<u>35%</u>
Usable Open Space (Sq. Ft.)	<u>dims less than 25ft</u>	<u>unchanged</u>
Usable Open Space (% of GFA)	<u></u>	<u></u>

This worksheet applies to plans dated 03/12/2022 designed by Jennifer Cardettino

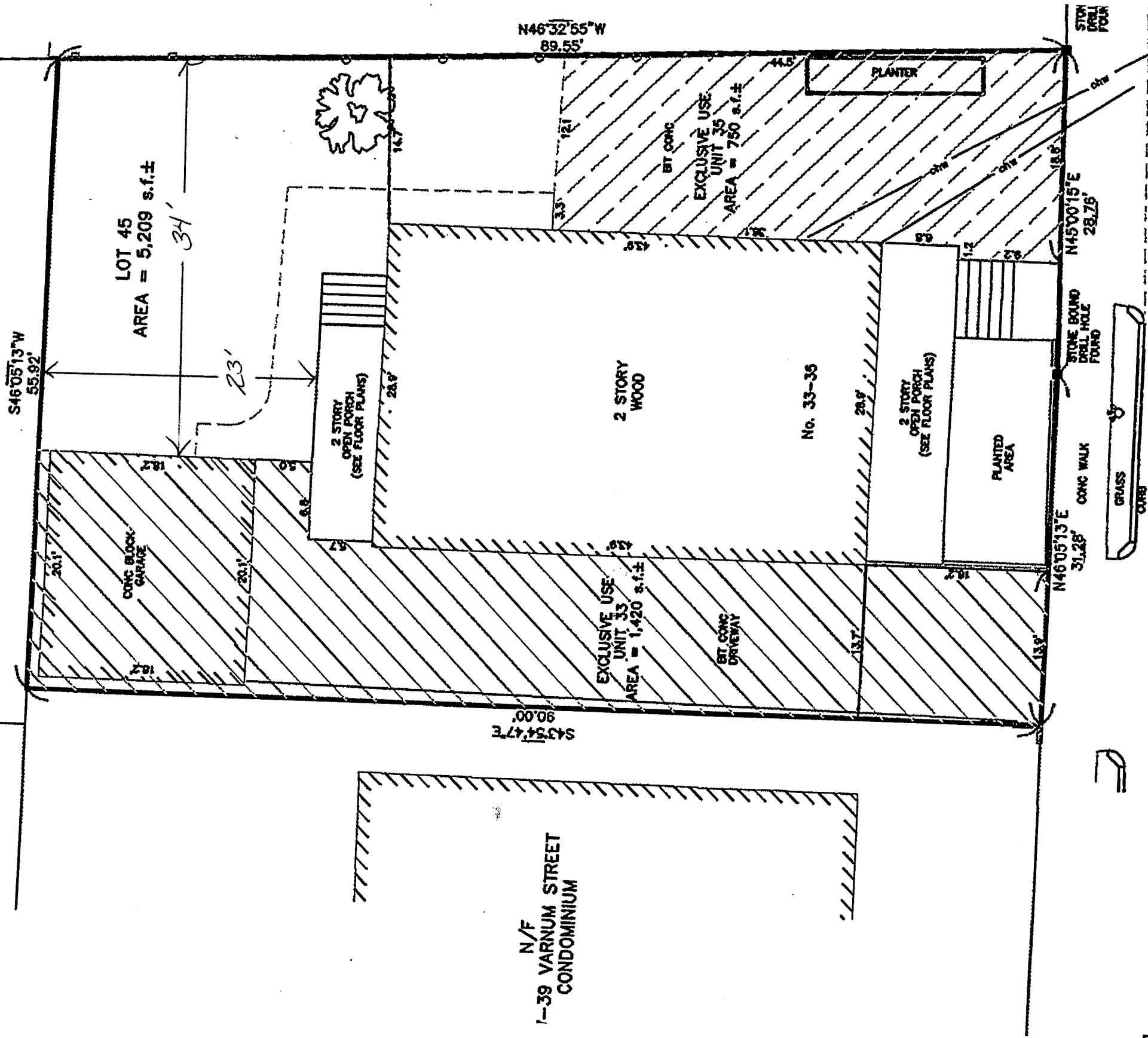
Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_







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HSUN-MEI HSIAO TRUST



VARNUM STREET

CARDETTINO CONDO  
ATTIC RENOVATION  
33 VARNUM STREET  
ARLINGTON, MA 02474

CONSTRUCTION DOCUMENTS

DRAWING LIST					
SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	REV. NUMBER	REV. DATE	REV. DESCRIPTION
0 - GENERAL					
A0.00	COVER SHEET	03/12/22			
1 - DEMOLITION					
D1.01	DEMOLITION PLAN	03/12/22	1	04/22/22	Revision 1
2 - ARCHITECTURAL					
A1.01	FLOOR PLAN	03/12/22	1	04/22/22	Revision 1
A2.01	REFLECTED CEILING PLAN	03/12/22	1	04/22/22	Revision 1
A5.01	BUILDING ELEVATIONS AND SECTIONS	03/12/22	1	04/22/22	Revision 1
A6.01	ENLARGED PLAN AND ELEVATIONS - STAIRS	03/13/22			
A8.01	INTERIOR ELEVATIONS	03/12/22	1	04/22/22	Revision 1
3 - STRUCTURAL					
S1.01	STRUCTURAL PLANS - ATTIC	03/12/22			
S1.02	STRUCTURAL PLANS - ROOF	03/12/22			
4 - ELECTRICAL					
E1.01	ELECTRICAL AND LIGHTING PLANS	03/12/22	1	04/22/22	Revision 1

CODE REVIEW

EXISTING BASEMENT CEILING IS 3'-6" ABOVE AVERAGE GRADE.

EXISTING BUILDING FOOTPRINT IS 28'-10" X 44'-0" (1270 SF). FINISHED AREA IN ATTIC TO BE 423 SF OF FINISHED HABITABLE SPACE WITH MIN. 7'-0" CEILINGS. ADDITIONAL 177 SF OF FINISHED STORAGE AND CLOSET SPACES WITH SLOPED CEILINGS. TOTAL FINISHED ATTIC SPACE OF 567 SF OR 44.6% OF BUILDING FOOTPRINT. TOTAL AREA WITH 7'-3" CLEARANCE UNDER ROOF STRUCTURE IS 337 SF OR 26% OF BUILDING FOOTPRINT.

INSULATION IN NEW AND EXISTING PORTIONS OF ROOF TO BE MINIMUM OF R=49 WITH 2" RIGID INSULATION R-10 ON ROOF SHEATHING, R-15 OF CLOSED-CELL. NEW EXTERIOR WALLS ARE TO HAVE 5" MIN. OPEN-CELL FOAM INSULATION TO ACHIEVE AN R VALUE OF 20 OR HIGHER.

ROOM LIGHTING AND VENTILATION							
ROOM NAME	ROOM AREA	HABITABLE SPACE	AREA OF NATURAL LIGHTING	% NATURAL LIGHT OF AREA	AREA OF NATURAL VENTILATION	% NATURAL VENTILATION OF AREA	COMMENTS
BATHROOM	104 SF	Yes	7 SF	0.063636	4 SF	0.033543	MECHANICAL VENTILATION PROVIDED
HALL	63 SF	Yes	14 SF	0.223119	4 SF	0.063748	
PRIMARY BEDROOM	198 SF	Yes	22 SF	0.108368	11 SF	0.055444	
CLOSET	89 SF	No	0 SF	0	0 SF	0	
CLOSET	154 SF	No	7 SF	0.045393	7 SF	0.045393	
Grand total	609 SF		49 SF		26 SF		

ABBREVIATIONS

ABV	ABOVE	GALV	GALVINIZED	SC	SOLID CORE
@	AT	GL	GLASS / GLAZED	SER	SERVICE
ACOUS	ACOUSTICAL	GD	GRADE	SHT	SHEET
ACT	ACOUSTICAL CELING TILE	GR FL	GROUND FLOOR	SIM	SIMILAR
AFF	ABOVE FINISH FLOOR	GW	GYP	SPEC	SPECIFICATION
ALUM	ALUMINUM	HC	HANDICAPPED	SS	STAINLESS STEEL
BLDG	BUILDING	HDR	HEADER	STOR	STORAGE
BLKG	BLOCKING	HDWD	HARDWOOD	STL	STEEL
B.O.	BOTTOM OF	HOR	HORIZONTAL	STRUC	STRUCTURAL
B.O.W.	BOTTOM OF WALL	HT	HEIGHT	SQ	SQUARE
B.O.W.F.	BOTTOM OF WINDOW FRAME	INSUL	INSULATION	TEL	TELEPHONE
CER	CERAMIC	JAN	JANITOR	TO	TOP OF
CHAN	CHANNEL	JNT	JOINT	TOC	TOP OF COPING / CONCRETE
CJ	CONTROL JOINT	KIT	KITCHEN	TODF	TOP OF DOOR FRAME
	CENTER LINE	LAM	LAMINATED	TOS	TOP OF STEEL
CLOS	CLOSET	LCC	LEAD COATED COPPER	TOW	TOP OF WALL
CL	CLEAR	LOC	LOCATION	TOWF	TOP OF WINDOW FRAME
CMU	CONCRETE MASONRY UNIT	MACH	MACHINE	TYP	TYPICAL
C.O.	CENTER OF	MAS	MASONRY	UNO	UNLESS NOTED OTHERWISE
COL	COLUMN	MFR	MANUFACTURER	VCT	VINYL COMPOSITE TILE
CONC	CONCRETE	MECH	MECHANICAL	VEND	VENDING
CONT.	CONTINUOUS	MIN	MINIMUM	VERT	VERTICAL
CTRSK	COUNTERSUNK	MISC	MISCELLANEOUS	VIN	VINYL
CT	CERAMIC TILE / CURTAIN TRACK	MO	MASONRY OPENING	VNR	VENEER
DWG	DRAWING	MTNG	MEETING	W	WITH
DN	DOWN	MTL	METAL	WD	WOOD
EL	ELEVATION	MTD.	MOUNTED	WNDW	WINDOW
ELEC	ELECTRICAL	NIC	NOT IN CONTRACT	YD.	YARD
EMER	EMERGENCY	NTS	NOT TO SCALE		
EQ	EQUAL	OC	ON CENTER		
EXP	EXPANSION	OH	OPPOSITE HAND		
EXT	EXTERIOR	OPNG	OPENING		
EXIST.	EXISTING	OPP	OPPOSITE		
FD	FLOOR DRAIN	P LAM	PLASTIC LAMINATE		
FEC	FIRE EXTINGUISHER (CABINET)	PLAS	PLASTER		
FF	FINISH FLOOR	PL	PLATE		
FIN	FINISH	PLYWD	PLYWOOD		
FL	FLOOR	PTD	PAINTED		
FOS	FACE OF STUD	REQ'D	REQUIRED		
FND	FOUNDATION	RM	ROOM		
FT	FEET	RO	ROUGH OPENING		

SECTION 5.4.2 TABLE A - TABLE OF DIMENSIONAL AND DENSITY REGULATIONS			
REGULATION	ALLOWABLE FOR DISTRICT R2		ACTUAL/ PROVIDED
LOT REGULATIONS			
SIZE (SF)	6,000		5,200 (UNCHANGED)
FRONTAGE (FT.)	60		60 (UNCHANGED)
YARD AND OPEN SPACE REQUIREMENTS			
FRONT YARD	NA		
SIDE YARD	NA		
REAR YARD (<100 FT. DEPTH)	20% DEPTH (89.5)		23 (UNCHANGED)
OPEN SPACE AND LOT COVERAGE			
	%	VALUE	
LANDSCAPED OPEN SPACE (MIN.)	10%	279	1187
USABLE OPEN SPACE (MIN.)	30%	838	840
MAXIMUM LOT COVERAGE	35%	1620	1672
BUILDING HEIGHT AND FLOOR AREA RATIO REGULATIONS - TWO FAMILY DWELLING			
MAXIMUM HEIGHT (FT)	35		32 (UNCHANGED)
MAXIMUM HEIGHT (STORIES)	2.5		2.5 (UNCHANGED)
MAXIMUM FLOOR AREA RATIO (far)	NA		

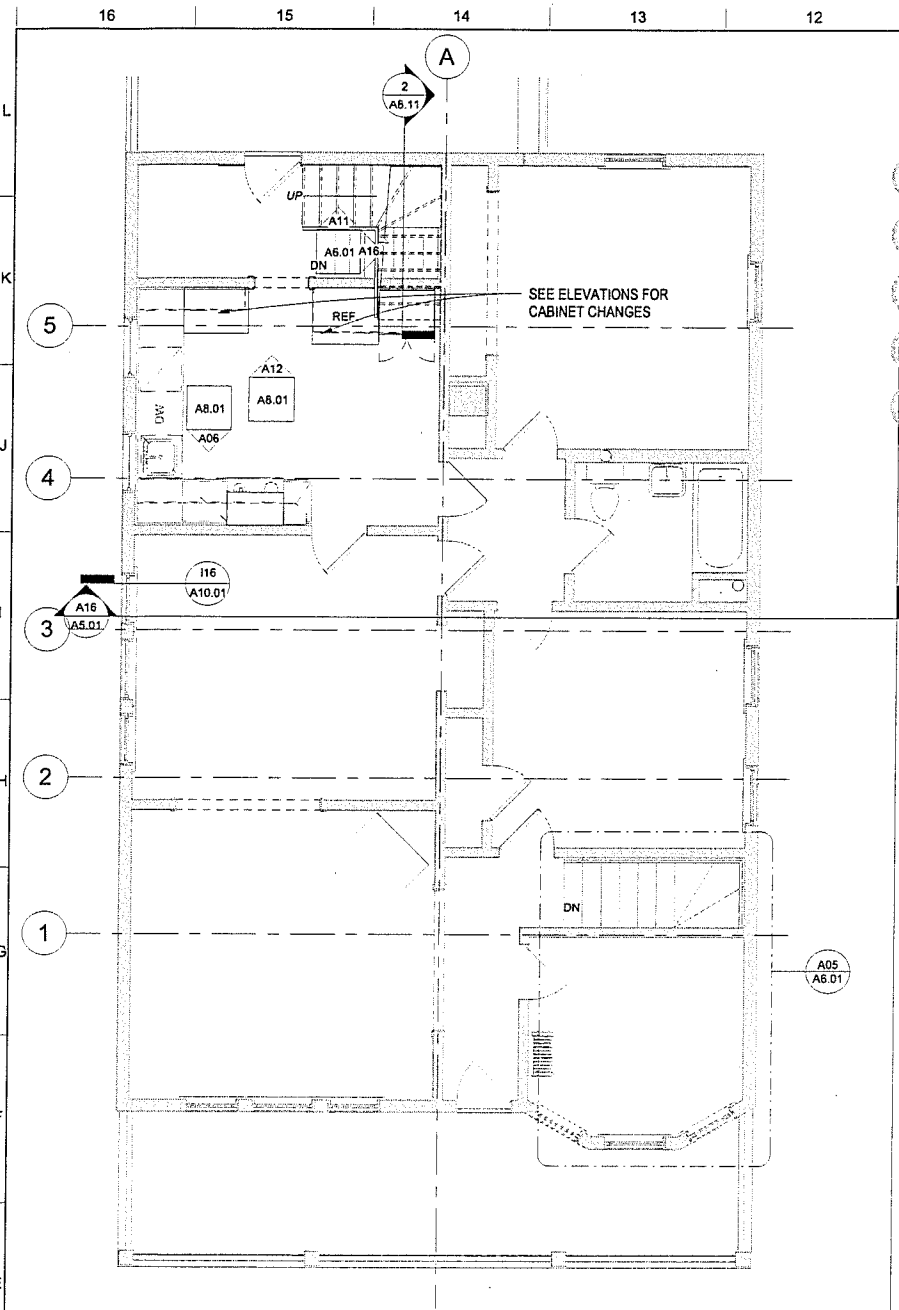
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CARDETTINO CONDO  
ATTIC RENOVATION

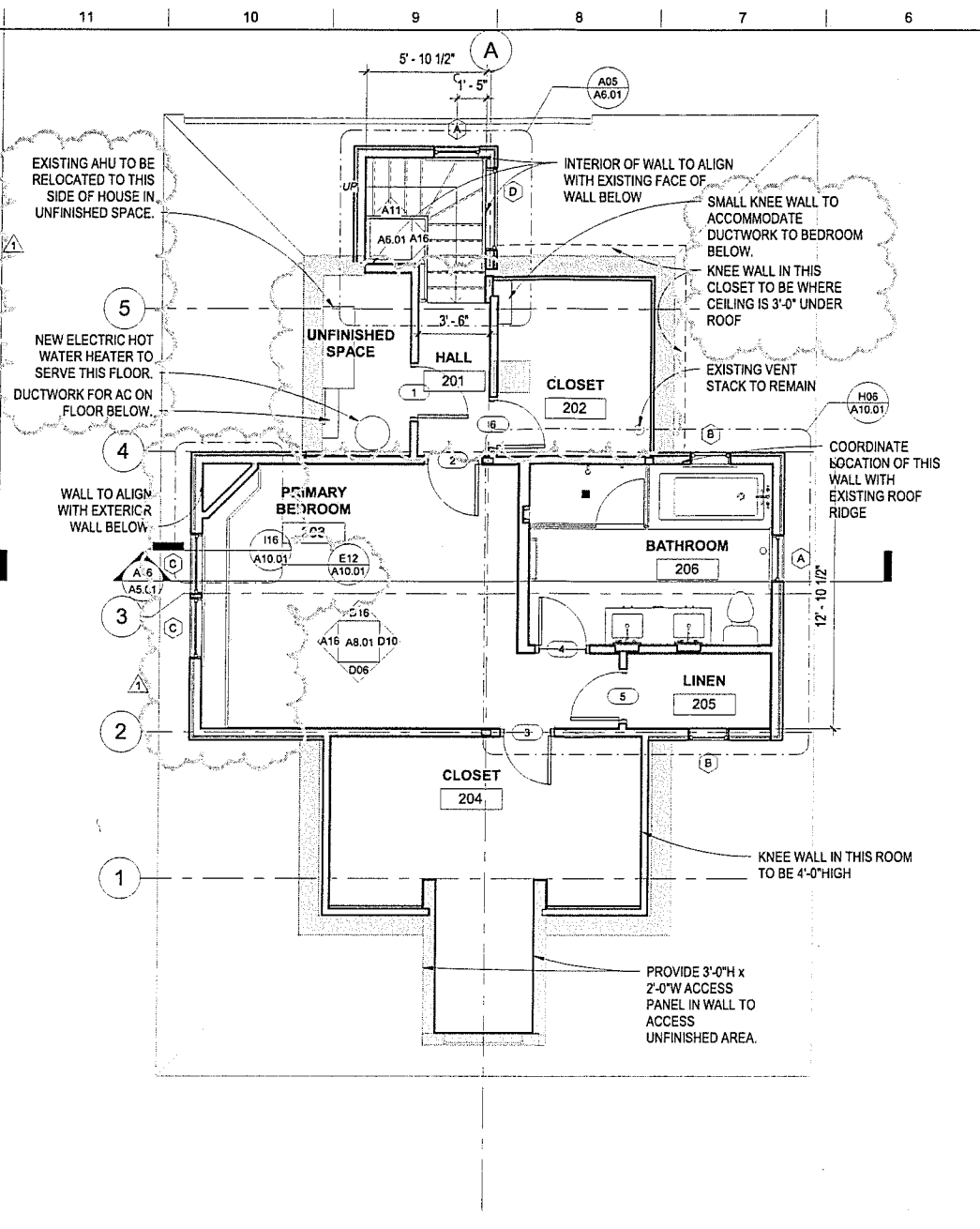
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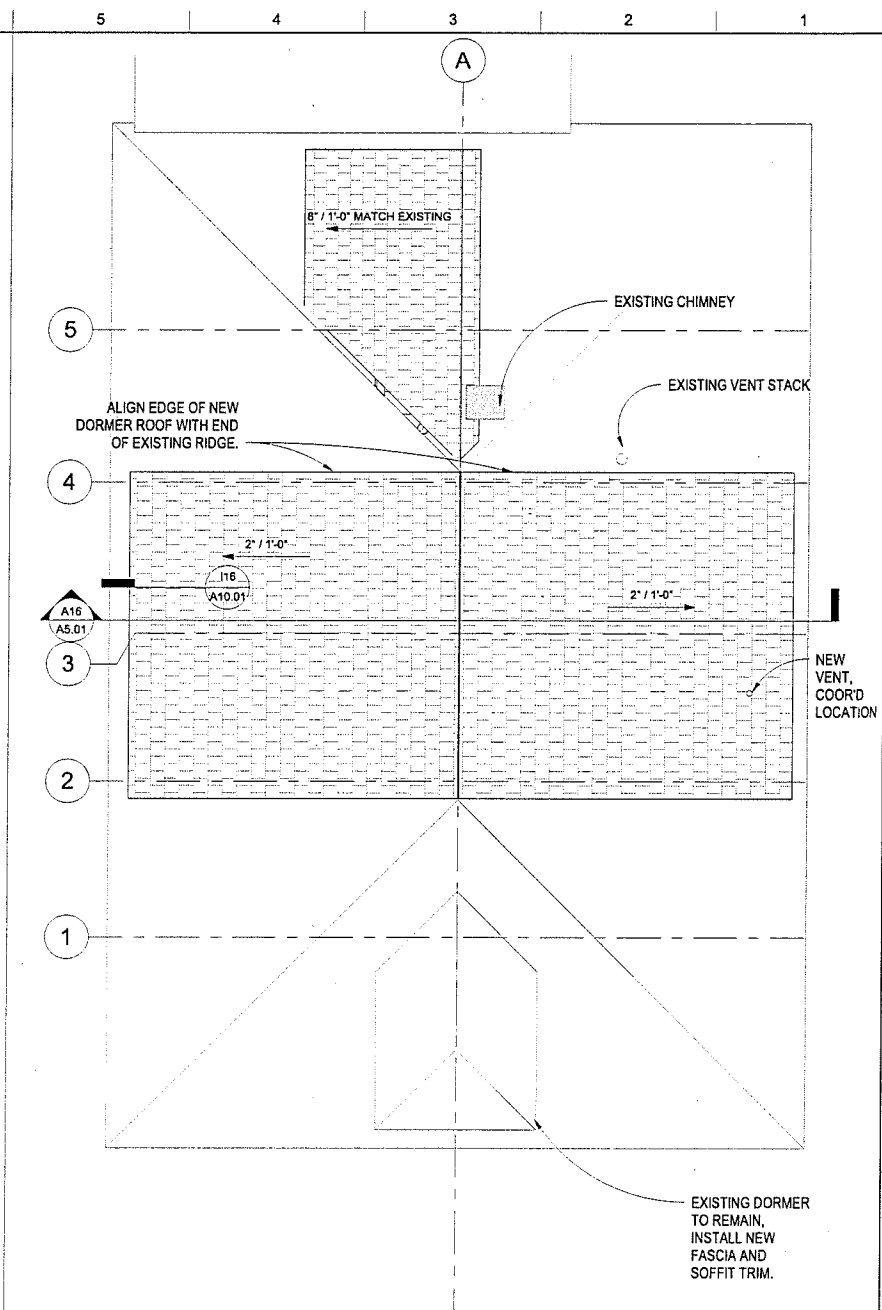




E16 RENOVATION PLAN - SECOND LEVEL  
1/4" = 1'-0"



E11 RENOVATION PLAN - ATTIC LEVEL  
1/4" = 1'-0"



E05 RENOVATION PLAN - ROOF LEVEL  
1/4" = 1'-0"

DOOR SCHEDULE						
NO	RM NAME	RM NUMBER	DOOR QTY.	OPENING WIDTH	OPENING HEIGHT	COMMENTS
1	UNFINISHED SPACE	207	SGL	2'-6"	6'-6"	
2	PRIMARY BEDROOM	203	SGL	2'-6"	6'-6"	
3	CLOSET	204	SGL	2'-4"	6'-6"	
4	BATHROOM	206	SGL	2'-4"	6'-6"	
5	LINEN	205	SGL	2'-4"	6'-6"	
6	CLOSET	202	SGL	2'-4"	6'-6"	

**ABBREVIATIONS**  
SGL SINGLE DOOR

- DOOR NOTES:**
- DOOR PANELS, UNLESS NOTED OTHERWISE, TO BE MASONITE MDF 2-PANEL LOGAN SMOOTH DOOR. DOOR #3 SHALL BE PLANTATION LOUVER OVER LOUVER. ACCESS DOOR INTO UNFINISHED SPACE MAY BE FLUSH INTERIOR DOOR.
  - DOOR HARDWARE IS TO BE AGED BRONZE FINISH: SCHLAGE ANDOVER KNOB WITH ADDISON TRIM. PROVIDE PRIVACY SET IN MASTER BATH AND BEDROOM. PASSAGE SET IN CLOSETS.
  - ALL TRIM AROUND DOORS ARE TO BE AS DETAILED ON SHEET A8.01.

WINDOW SCHEDULE					
TYPE	COUNT	WIDTH	HEIGHT	PRODUCT ID	Comments
A	2	2'-3 1/2"	3'-11 1/2"	244DH2440	DOUBLE HUNG WINDOW
B	2	1'-11 1/2"	1'-11 1/2"	100AS2020	AWNING WINDOW
C	2	2'-11 1/2"	4'-8 1/2"	244DH3049	EGRESS DOUBLE HUNG WINDOW
D	1	4'-0"	2'-0"	100REC4020	INOPERABLE FIXED WINDOW
7					

- WINDOW NOTES:**
- ALL NEW WINDOW PRODUCT ID# REFERENCE ANDERSEN WINDOWS. HARVEY CLASSIC VINYL WINDOWS ARE ALSO ACCEPTABLE. THE FOLLOWING ATTRIBUTES SHALL APPLY TO ALL WINDOWS:  
A. WHITE PAINTED INTERIOR AND WHITE VINYL EXTERIOR (ANDERSEN) OR FULLY VINYL WINDOW (HARVEY).  
B. DIVIDED LITE TOP SASH ONLY.  
C. LOW-E GLASS WITH HEATLOCK COATING (ANDERSEN) OR THERMALOCK (HARVEY).  
D. WHITE LOCK AND KEEPER.  
E. CLASSIC SERIES HAND LIFT (ANDERSEN) OR INTEGRAL LIFT (HARVEY).  
F. GRIDS BETWEEN THE GLASS, COLONIAL PATTERN, TOP SASH OF DOUBLE HUNG ONLY.  
G. TILT-TO-CLEAN STYLE (DOUBLE HUNG ONLY).  
SEE ELEVATIONS ON SHEET A8.01 FOR TRIM DETAILING AROUND WINDOWS.

- GENERAL NOTES**
- EXTERIOR FINISH IS TO MATCH EXISTING WHITE VINYL SIDING.
  - PROVIDE SEPARATE PRICE FOR THE FOLLOWING: NEW ROOFING ON ENTIRE STRUCTURE. PROVIDE NEW GUTTERS AT PERIMETER ROOF.
  - PROVIDE 2" RIGID INSULATION (R-10) ON ROOF SHEATHING CONTINUOUS INSULATION R-15 WITH OPEN CELL FOAM SPRAY IN THE FRAMING CAVITY TO ACHIEVE R-49 FOR UNVENTILATED ATTIC CONDITION. ALTERNATELY, PROVIDE THE R-49 ON THE INTERIOR ONLY USING CODE COMPLIANT COMBINATION OF CLOSED CELL FOAM AT UNDERSIDE OF SHEATHING AND THE BALANCE IN OPEN CELL INSULATING. NO INSULATION IN THE FLOOR OF THE FINISHED ATTIC SPACE IS REQUIRED.
- FINISH NOTES**
- PATCH EXISTING FINISHES AS REQUIRED BY NEW WORK.
  - EXISTING REAR HALL HAS STAINED WOOD TRIM THROUGHOUT. THIS AREA SHALL RECEIVE A NEW COAT OF PAINT ON ALL WALLS, TRIM NEW AND EXISTING TO BE PAINTED, NEW TREADS TO BE CLEAR COATED OAK. NEW ATTIC SPACES WILL HAVE PAINTED WOOD TRIM THROUGHOUT. ALL NEW DOOR PANELS THROUGHOUT SHALL BE 2-RECESSED PANEL DOORS, SIMILAR TO EXISTING ON SECOND FLOOR. FLOOR FINISHES ARE TO BE CORK IN FINISHED ATTIC SPACES (EXCEPT BATHROOM). PROVIDE ALLOWANCE FOR MATERIAL COST.
  - SEE SHEET A10.01 FOR BATHROOM FINISHES.

**RENOVATION NOTES AND SYMBOL LEGEND**

<b>ROOM NAME</b> 101	DENOTES ROOM NAME	1 A101	DENOTES DETAIL CALLOUT
0	DENOTES GRID LINE	1 A101	DENOTES SECTION
101	DENOTES DOOR NUMBER	1 A101	DENOTES ELEVATION TAG
11	DENOTES WINDOW TAG	2'-6"	DENOTES SPOT ELEVATION
CL	DENOTES CENTERLINE	1	DENOTES REVISION TAG
	DENOTES EXISTING WALL		
	DENOTES NEW WALL		

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**ATTIC RENOVATION**

**CARDETTINO CONDO**  
33 VARNUM STREET  
ARLINGTON, MA 02474

**FLOOR PLAN**

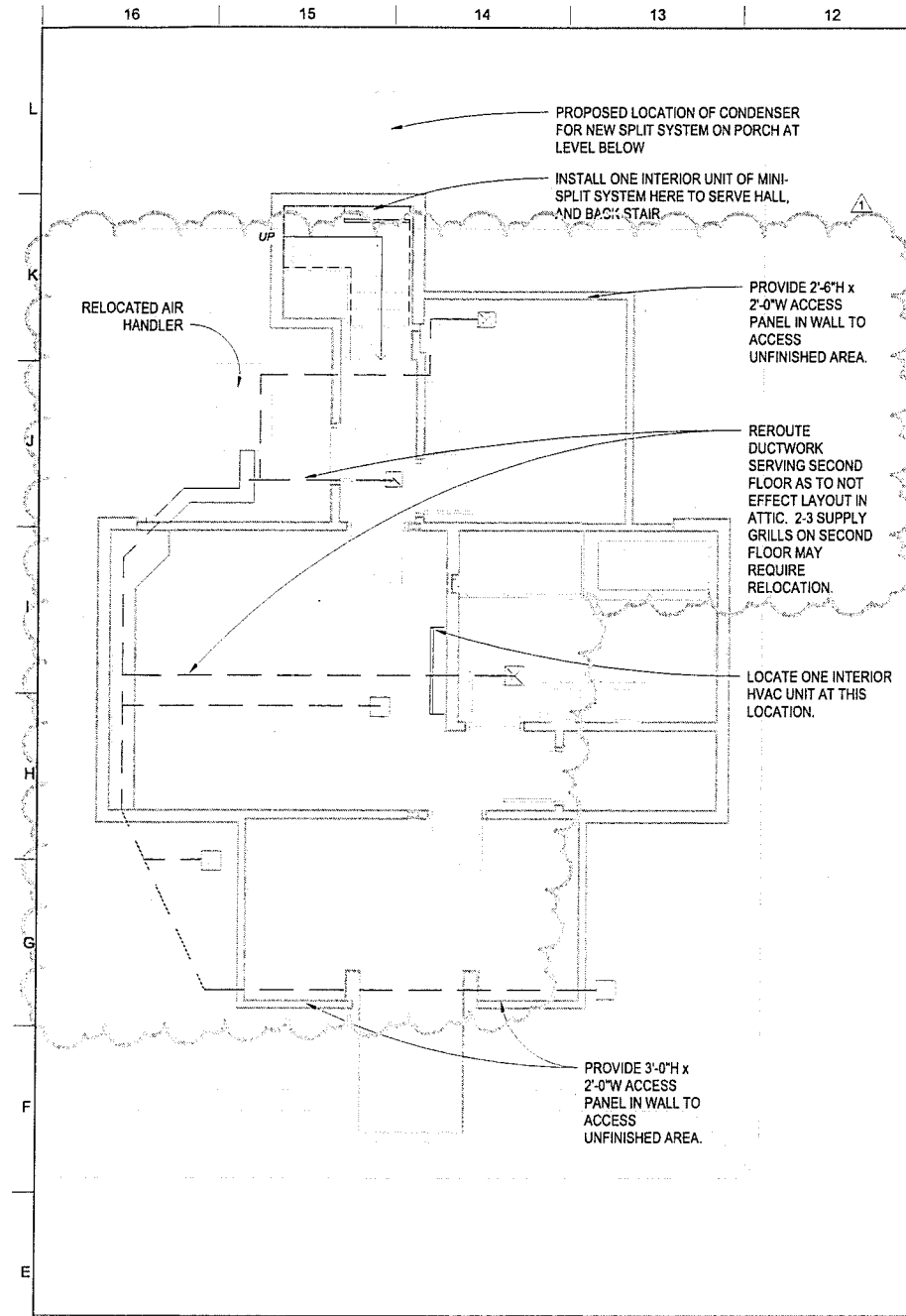
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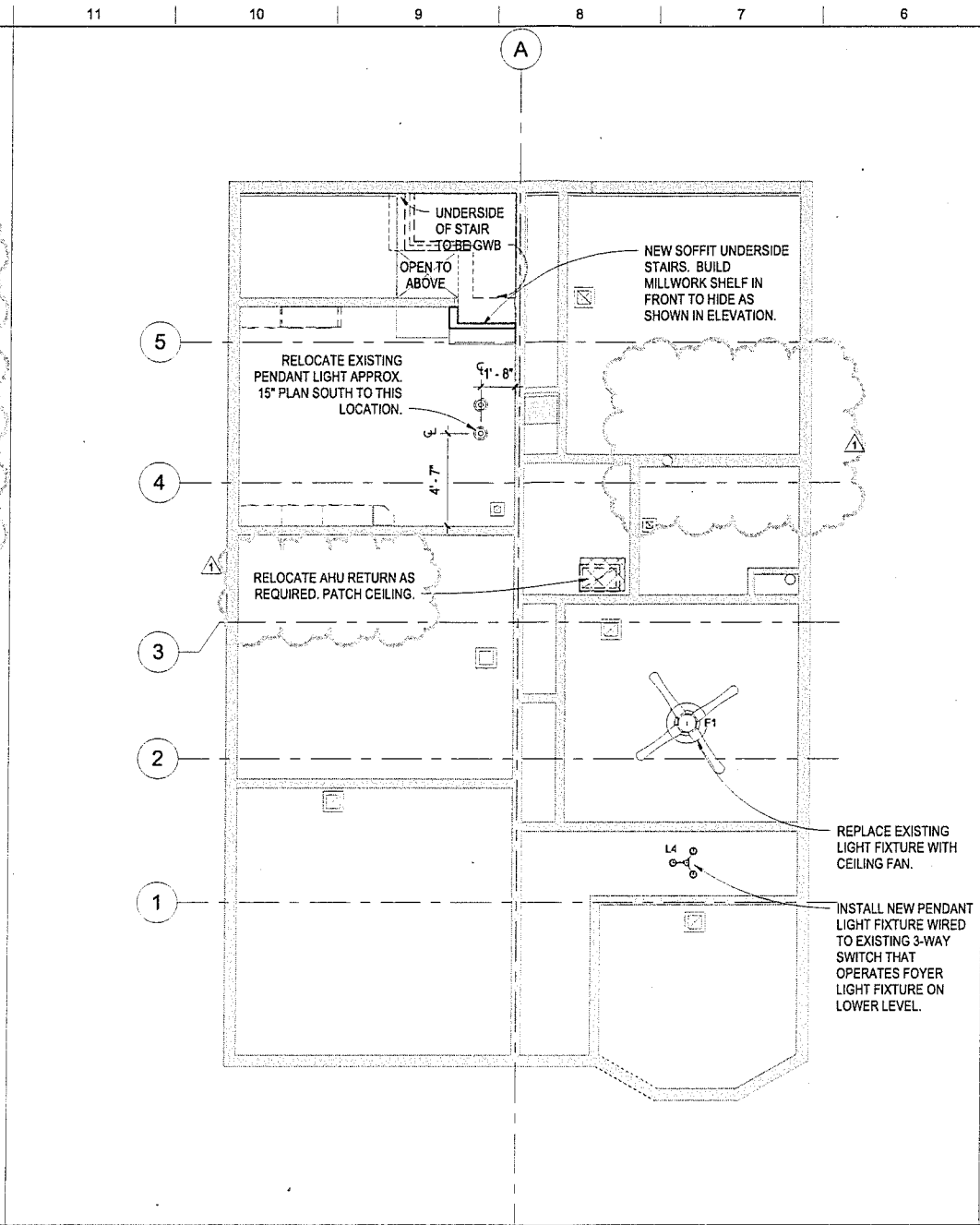
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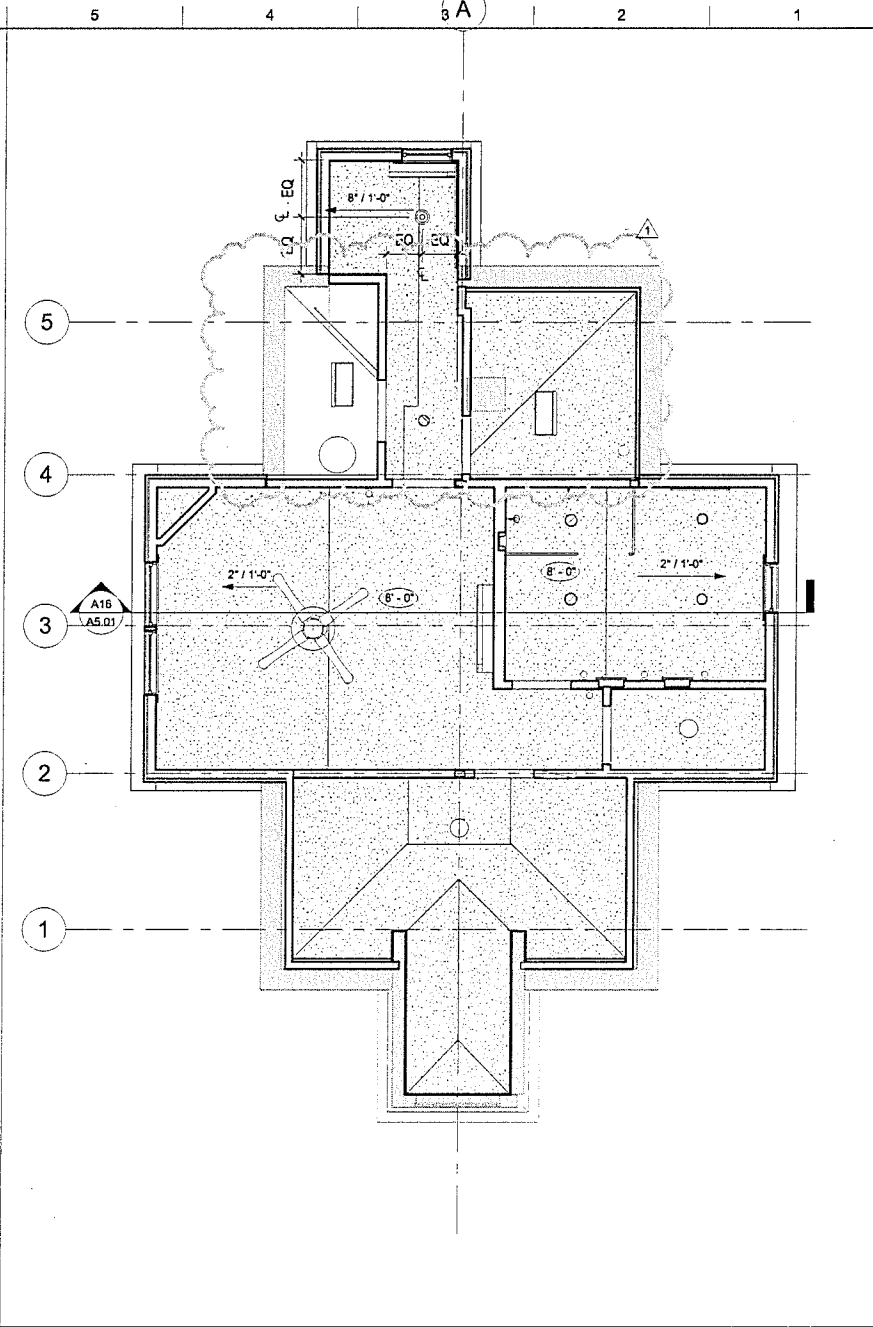
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E16 MECHANICAL PLAN - ATTIC LEVEL  
1/4" = 1'-0"



E11 SECOND FLOOR REFLECTED CEILING PLAN  
1/4" = 1'-0"



E05 ATTIC REFLECTED CEILING PLAN  
1/4" = 1'-0"

#### MECHANICAL SYSTEMS NOTES

- EXISTING BASEMENT BOILER FEEDING SECOND FLOOR IS TO REMAIN. AHU IN ATTIC IS TO BE RELOCATED, AS DISCUSSED. PROVIDE NEW DUCTWORK CONFIGURATION IN ATTIC SPACE TO SERVE SECOND FLOOR, AS REQUIRED, BY NEW WORK IN ATTIC.
- NEW FINISHED AREA IN ATTIC IS TO RECEIVE REVERSE CYCLE CHILLER HEAT PUMP SYSTEM TO PROVIDE HEATING AND COOLING WITH ELECTRIC BACK-UP. TWO HEATING ZONES FOR PROJECT AREA ON SMART THERMOSTAT, PREFERABLY NEST. ONE ZONE TO COVER ATTIC BEDROOM, CLOSET AND BATHROOM. SECOND ZONE TO COVER STAIRWELL, ATTIC HALL AND BACK HALL ON SECOND FLOOR (1ST TO SECOND FLOOR STAIRWELL AS WELL AS KITCHEN ARE CURRENTLY NOT SERVED BY STEAM HEAT).
- PROVIDE ELECTRIC RADIANT FLOOR AND HARDWIRED HEATED TOWEL RACK IN NEW BATHROOM WITH THERMOSTAT.

#### CEILING PLAN NOTES AND SYMBOL LEGEND

ROOM NAME	DENOTES ROOM NAME	DENOTES DETAIL CALLOUT
101		
0	DENOTES GRID LINE	DENOTES SECTION
8'-0"	DENOTES CEILING HEIGHT	DENOTES KEYED NOTE
CL	DENOTES CENTERLINE	LED RECESSED DOWNLIGHT
1	DENOTES REVISION TAG	WALL SCONCE - EXACT FIXTURE TO BE PURCHASED BY OWNER
	SURFACE MOUNTED LED FIXTURE	BATHROOM EXHAUST FAN
	CEILING FAN	

#### GENERAL CEILING NOTES

- ALL CEILINGS TO BE PAINTED FLAT WHITE, UNLESS NOTED OTHERWISE.
- SEE ELECTRICAL PLANS FOR LIGHTING AND SWITCHING.

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ATTIC RENOVATION

CARDETTINO CONDO

33 VARNUM STREET  
ARLINGTON, MA 02474

REFLECTED CEILING PLAN



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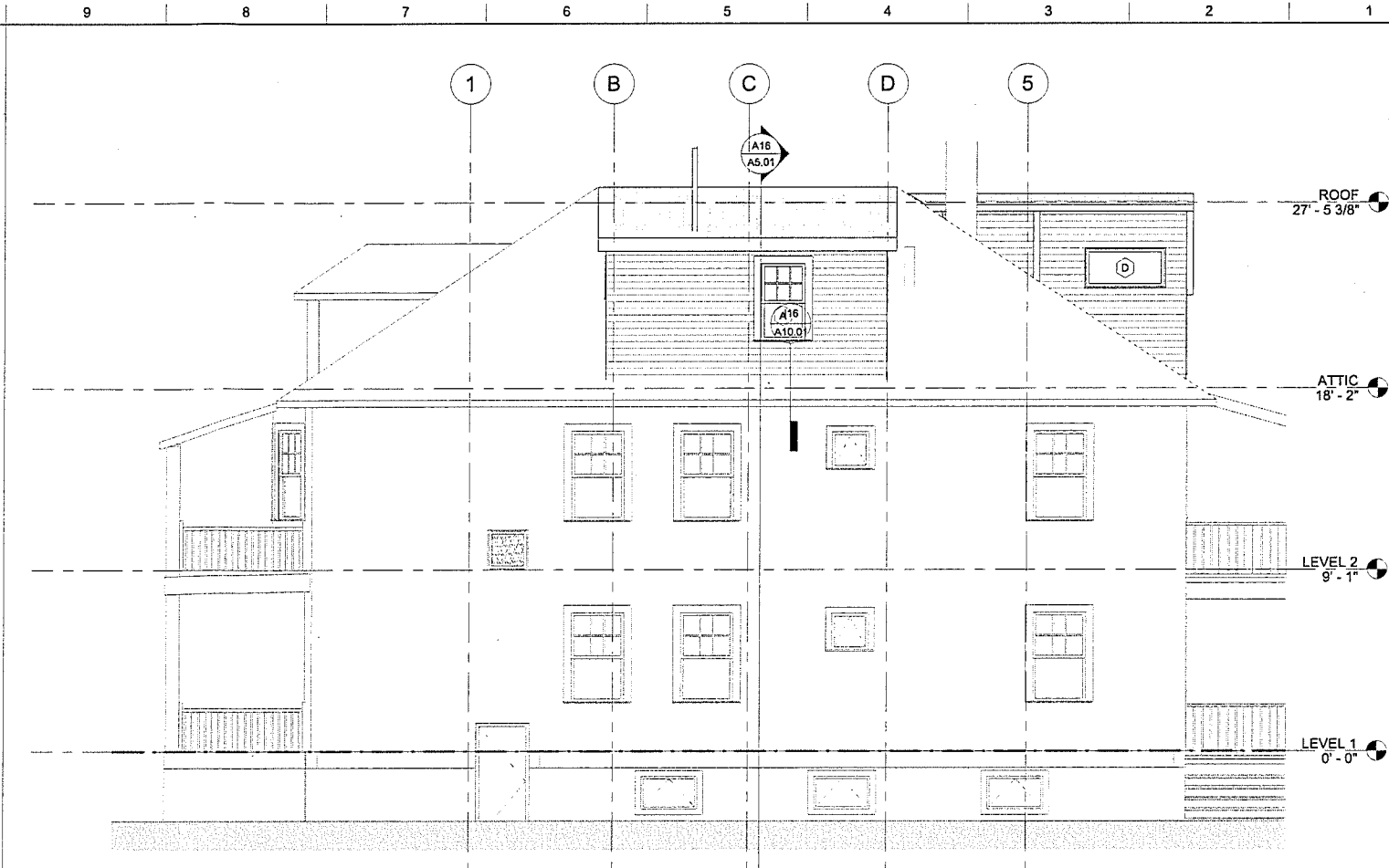
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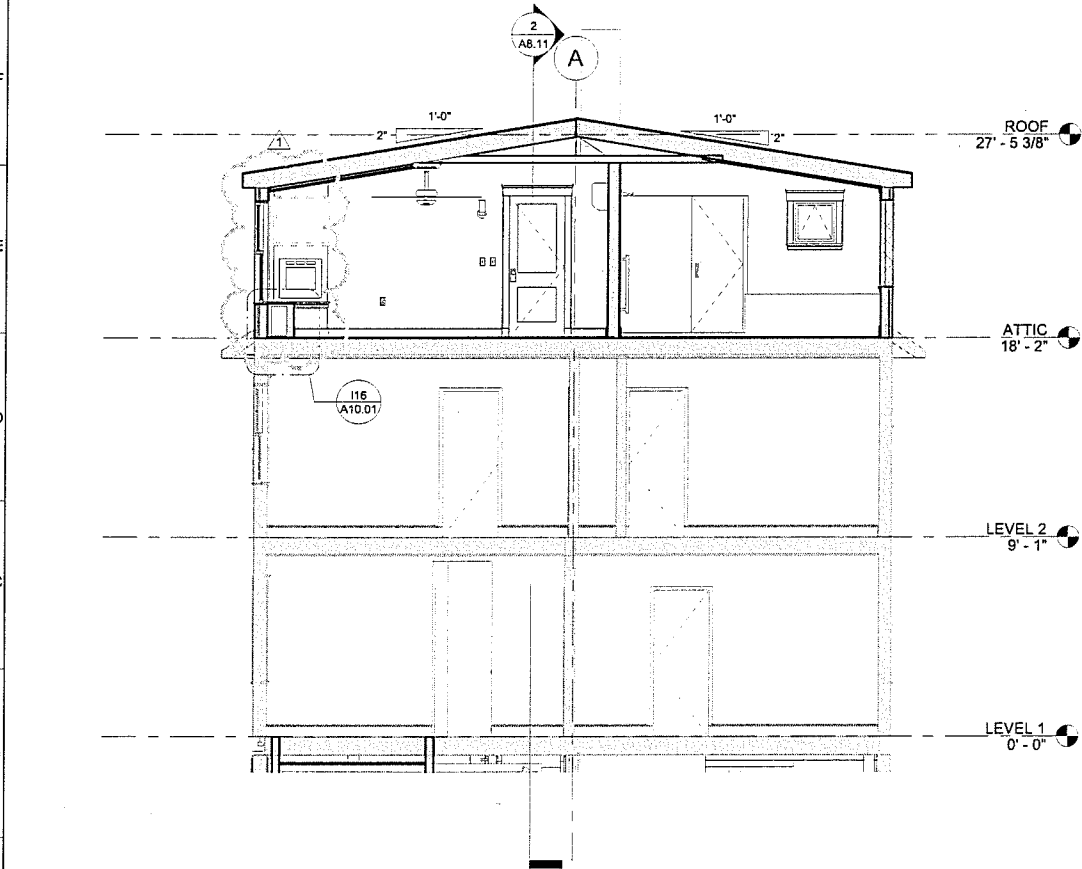
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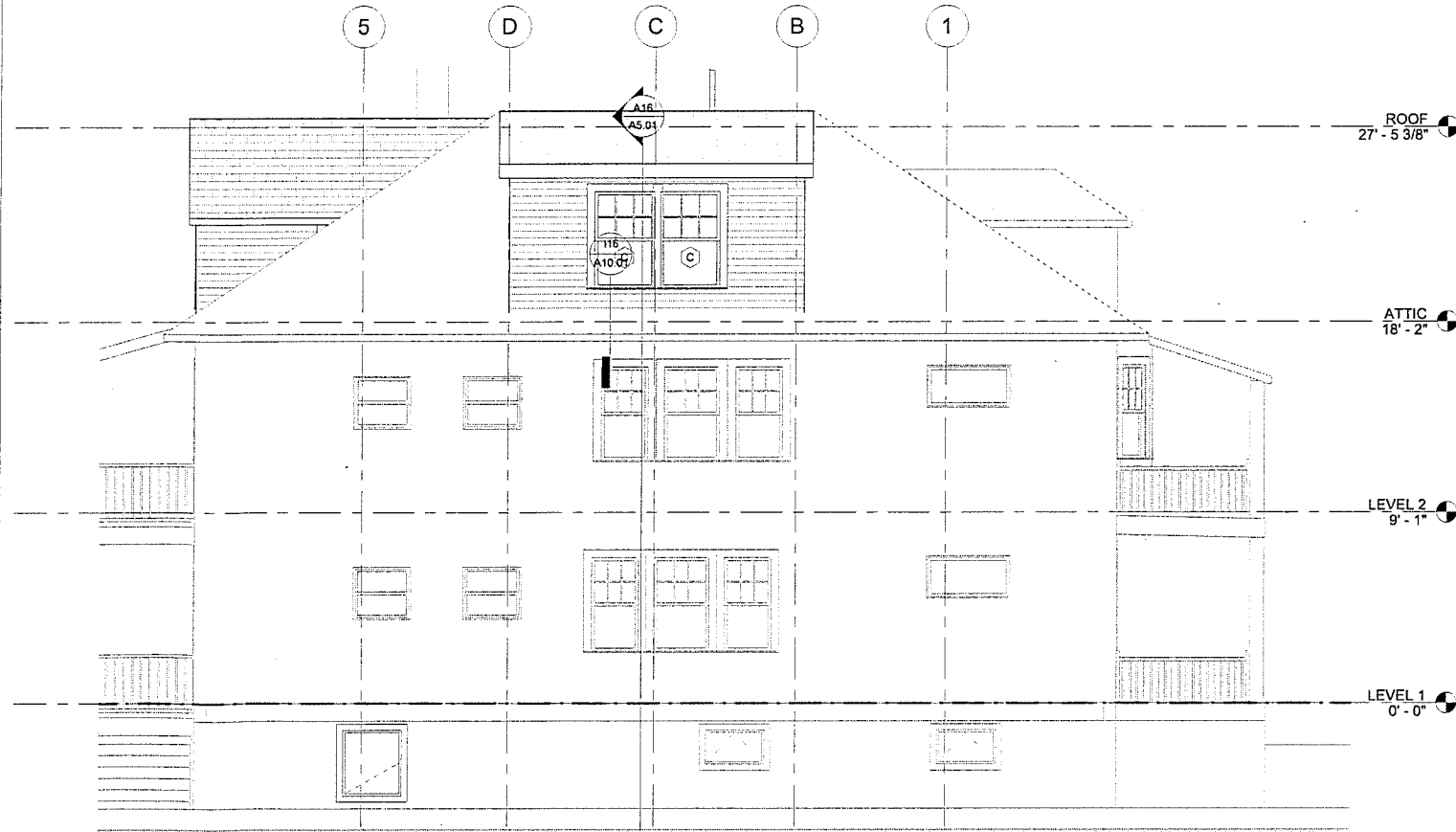
G16 NORTH  
1/4" = 1'-0"



G09 EAST  
1/4" = 1'-0"



A16 BUILDING CROSS SECTION 1  
1/4" = 1'-0"



A09 WEST  
1/4" = 1'-0"

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ATTIC RENOVATION

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BUILDING ELEVATIONS AND  
SECTIONS



NO	ISSUE	DATE
1	Revision 1	04/22/22

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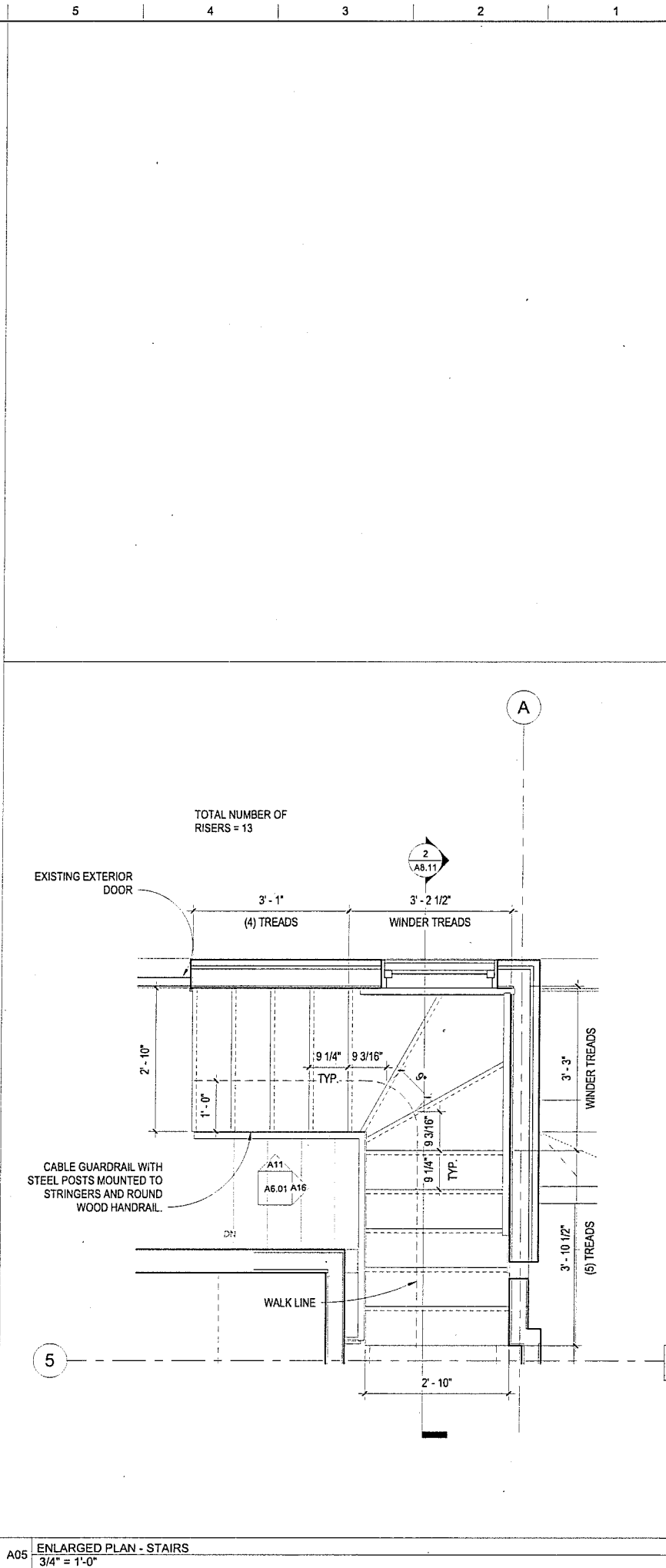
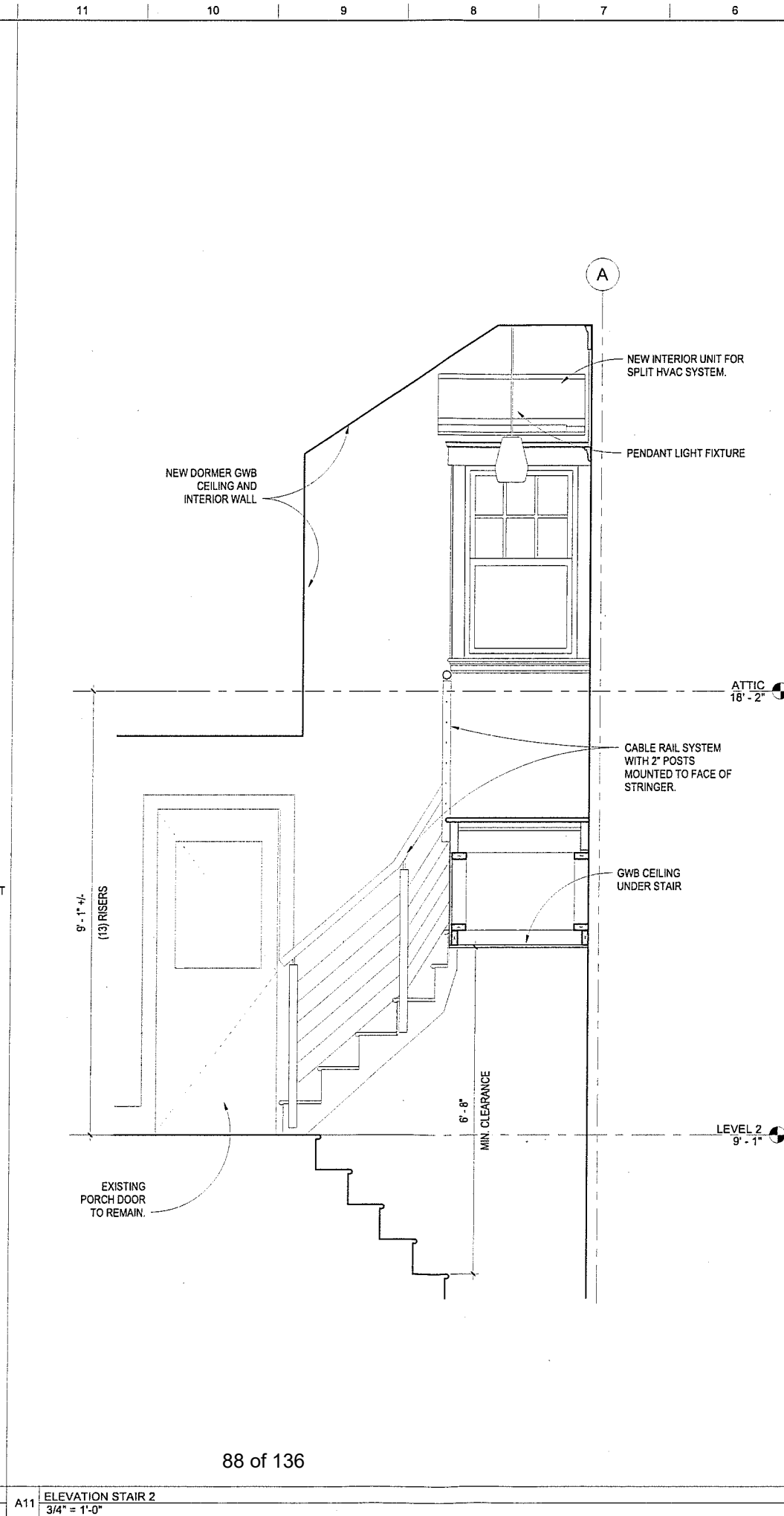
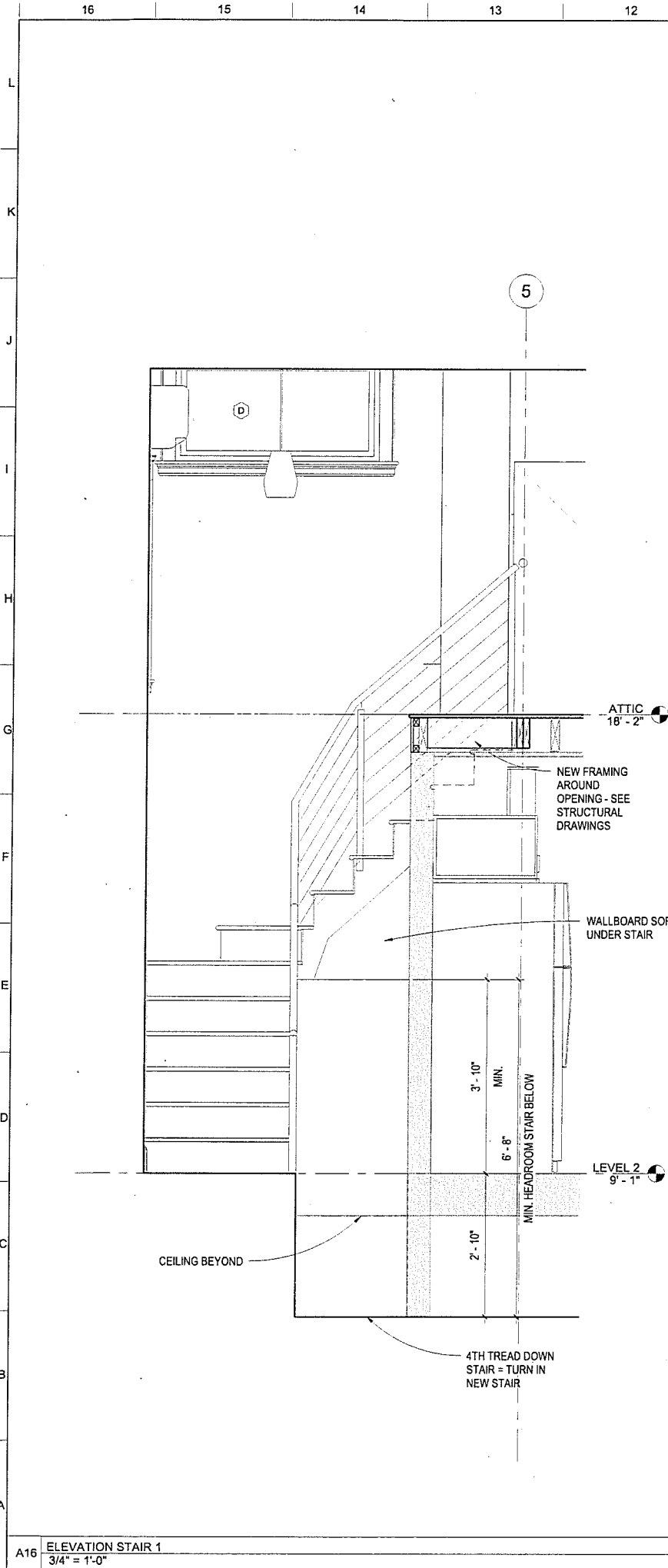
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ATTIC RENOVATION

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ENLARGED PLAN AND  
ELEVATIONS - STAIRS



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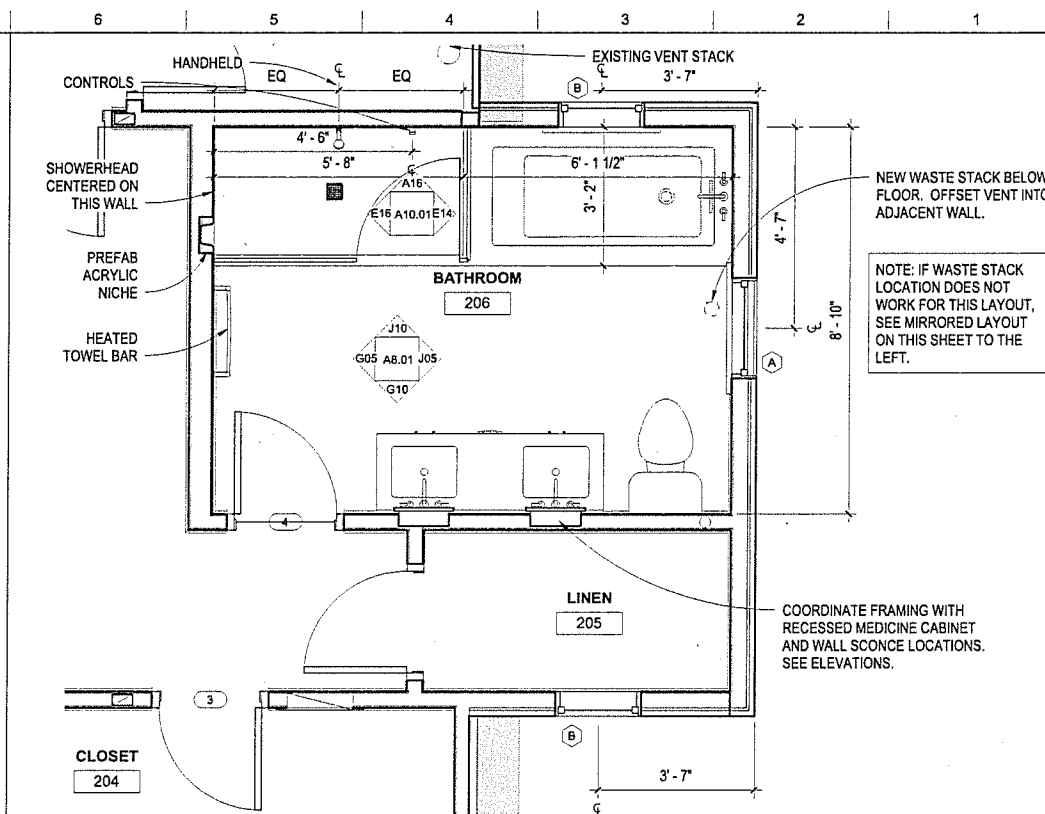
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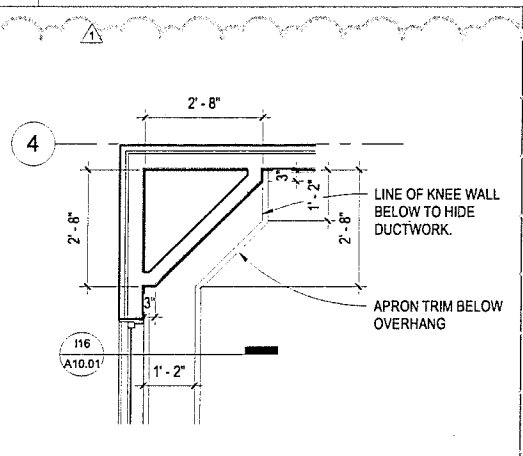
Architecture  
Facility Assessment  
Planning  
Interior Design



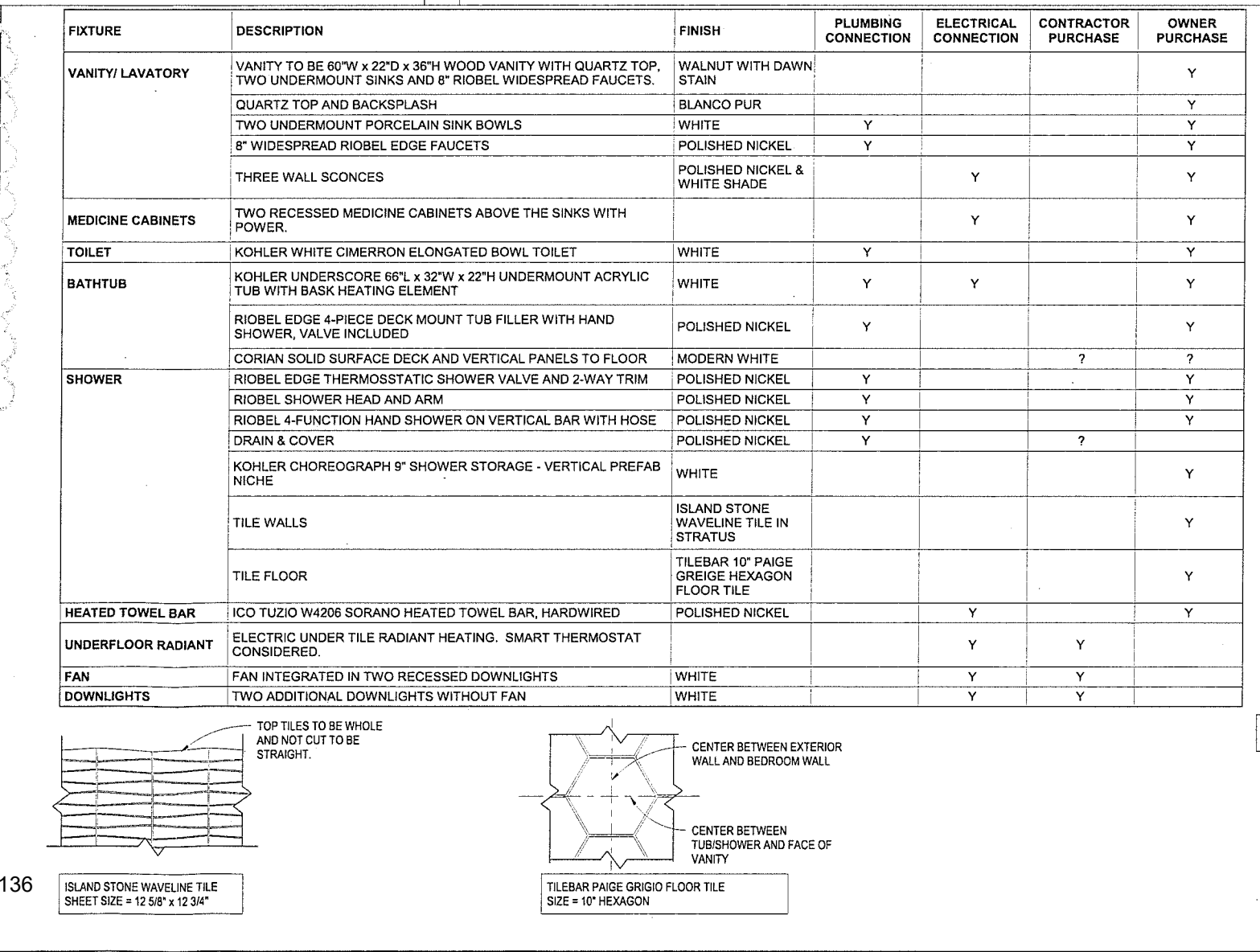
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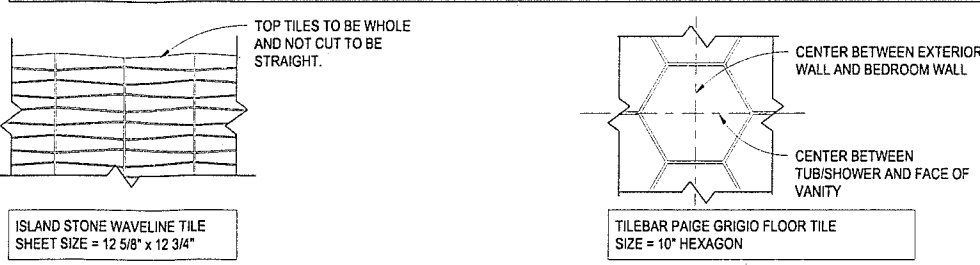
H06	ENLARGED PLAN - PRIMARY BATH 1/2" = 1'-0"
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E12	PLAN DETAIL - BEDROOM CORNER 1/2" = 1'-0"
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FIXTURE	DESCRIPTION	FINISH	PLUMBING CONNECTION	ELECTRICAL CONNECTION	CONTRACTOR PURCHASE	OWNER PURCHASE
VANITY/ LAVATORY	VANITY TO BE 60"W x 22"D x 36"H WOOD VANITY WITH QUARTZ TOP, TWO UNDERMOUNT SINKS AND 8" RIOBEL WIDESPREAD FAUCETS.	WALNUT WITH DAWN STAIN				Y
	QUARTZ TOP AND BACKSPLASH	BLANCO PUR				Y
	TWO UNDERMOUNT PORCELAIN SINK BOWLS	WHITE	Y			Y
	8" WIDESPREAD RIOBEL EDGE FAUCETS	POLISHED NICKEL	Y			Y
	THREE WALL SCONCES	POLISHED NICKEL & WHITE SHADE		Y		Y
MEDICINE CABINETS	TWO RECESSED MEDICINE CABINETS ABOVE THE SINKS WITH POWER.			Y		Y
TOILET	KOHLER WHITE CIMERRON ELONGATED BOWL TOILET	WHITE	Y			Y
BATHTUB	KOHLER UNDERScore 66"L x 32"W x 22"H UNDERMOUNT ACRYLIC TUB WITH BASK HEATING ELEMENT	WHITE	Y	Y		Y
	RIOBEL EDGE 4-PIECE DECK MOUNT TUB FILLER WITH HAND SHOWER, VALVE INCLUDED	POLISHED NICKEL	Y			Y
	CORIAN SOLID SURFACE DECK AND VERTICAL PANELS TO FLOOR	MODERN WHITE			?	?
SHOWER	RIOBEL EDGE THERMOSTATIC SHOWER VALVE AND 2-WAY TRIM	POLISHED NICKEL	Y			Y
	RIOBEL SHOWER HEAD AND ARM	POLISHED NICKEL	Y			Y
	RIOBEL 4-FUNCTION HAND SHOWER ON VERTICAL BAR WITH HOSE	POLISHED NICKEL	Y			Y
	DRAIN & COVER	POLISHED NICKEL	Y		?	
	KOHLER CHOREOGRAPH 9" SHOWER STORAGE - VERTICAL PREFAB NICHE	WHITE				Y
	TILE WALLS	ISLAND STONE WAVELINE TILE IN STRATUS				Y
	TILE FLOOR	TILEBAR 10" PAIGE GREIGE HEXAGON FLOOR TILE				Y
HEATED TOWEL BAR	ICO TUZIO W4206 SORANO HEATED TOWEL BAR, HARDWIRED	POLISHED NICKEL		Y		Y
UNDERFLOOR RADIANT	ELECTRIC UNDER TILE RADIANT HEATING. SMART THERMOSTAT CONSIDERED.			Y	Y	
FAN	FAN INTEGRATED IN TWO RECESSED DOWNLIGHTS	WHITE		Y	Y	
DOWNLIGHTS	TWO ADDITIONAL DOWNLIGHTS WITHOUT FAN	WHITE		Y	Y	



<b>ISSUED FOR PRICING</b>  <b>NOT FOR CONSTRUCTION</b>  <b>03/12/22</b>		<b>ATTIC RENOVATION</b>  <b>CARDETTINO CONDO</b> 33 VARNUM STREET ARLINGTON, MA 02474	<b>PARTIAL/ENLARGED PLANS</b>	<b>03/12/22</b>
<b>LINEA5, inc.</b> 195 State Street Boston, MA 02109 tel. 617.723.6908 fax. 617.723.8896 www.linea5.com				
<b>NO</b> <b>ISSUE</b> <b>DATE</b> 1   Revision 1      04/22/22				
Not Printed To Scale 07/01/2022				
<b>Job No</b> 20000.00		<b>DRAWN BY</b> <b>CHECKED BY</b> JLC                      JLC		
<b>DATE</b> <b>SCALE</b> 03/12/22      As indicated		<b>SHEET No</b> <b>A10.01</b>		
Copyright © 2011 Linea 5, Inc.				

E11 DEMO FRAMING PLAN - ATTIC  
1/4" = 1'-0"

E05 RENO FRAMING PLAN - ATTIC  
1/4" = 1'-0"

ISSUED FOR PRICING

NOT FOR  
CONSTRUCTION

03/12/22



ATTIC RENOVATION

CARDETTINO CONDO  
33 VARNUM STREET  
ARLINGTON, MA 02474

STRUCTURAL PLANS - ATTIC



NO ISSUE DATE

Not Printed To Scale  
07/01/2022

Job No 20000.00  
DRAWN BY JLC CHECKED BY JLC  
DATE 03/12/22 SCALE 1/4" = 1'-0"

SHEET No  
**S1.01**  
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E13 DEMO FRAMING PLAN - ROOF  
1/4" = 1'-0"

E07 RENO FRAMING PLAN - ROOF  
1/4" = 1'-0"

FRAME NEW EXTERIOR WALL AT GABLE END SO INTERIOR FACE OF FINISH ALIGNS WITH INTERIOR FACE OF FINISH OF EXISTING SECOND FLOOR WALL. EXISTING WALL IS ACTUAL 2x4 CONSTRUCTION.

PROVIDE 1 3/4" x 5 1/2" LVL SISTERED TO EXISTING ROOF JOIST WHERE NEW DORMER WALL IS TO SIT.

EXISTING ROOF JOISTS ARE ACTUAL 2" X 5.5" WITH SLOPE OF 8:12

LEAVE EXISTING RIDGE IN PLACE AND SISTER NEW LVL AND PROVIDE NEW POSTS AT EACH END.

SISTER NEW 2x6 RAFTERS TO EXISTING AT EACH SIDE OF DORMER TO TRANSFER LOAD OF CUT RAFTERS.

PROVIDE NEW 2X6 HEADER TO TRANSFER LOAD OF CUT RAFTERS.

NEW SHED DORMER FRAMING (FULL LENGTH OF RIDGE) - EXISTING EAVES/ OVERHANG TO REMAIN BELOW

APPROX. 11'-8"  
JOISTS TO BE PARTIALLY REMOVED FOR NEW DORMER EXISTING EAVES/OVERHANG TO REMAIN.

JOISTS TO BE REMOVED  
COORD WITH NEW FRAMING

JOIST TO REMAIN. NEW EXTERIOR WALL FOR DORMER TO BE BUILT ON THIS JOIST. SISTER NEW LVL AS INDICATED IN NEW FRAMING PLAN.

CUT BACK EXISTING ROOF RAFTERS COMING THROUGH EXISTING DORMER. SEE NEW FRAMING PLAN FOR REFRAMING.

ISSUED FOR PRICING

NOT FOR  
CONSTRUCTION

03/12/22



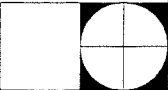
LINEA5, inc.

195 State Street  
Boston, MA 02109  
Tel. 617.723.8808  
Fax. 617.723.8898  
www.linea5.com

ATTIC RENOVATION

CARDETTINO CONDO  
33 VARNUM STREET  
ARLINGTON, MA 02474

STRUCTURAL PLANS - ROOF



NO. ISSUE DATE

Not Printed To Scale  
07/01/2022

Job No 20000.00

DRAWN BY CHECKED BY

JLC JLC

DATE SCALE

03/12/22 1/4" = 1'-0"

SHEET No

S1.02

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## Town of Arlington, Massachusetts

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### Docket # 3711 : 101 Robbins Road

#### ATTACHMENTS:

Type	File Name	Description
▣ Reference Material	Memo_for_Docket_#3711_101_Robbins_Rd.pdf	Memo for Docket # 3711 101 Robbins Road
▣ Reference Material	ZBA_Package__101_Robbins_Road.pdf	ZBA Package, 101 Robbins Road



**TOWN OF ARLINGTON**  
DEPARTMENT OF PLANNING and  
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS 02476  
TELEPHONE 781-316-3090

**MEMORANDUM**

To: Zoning Board of Appeals  
From: Marisa Lau, Senior Planner, Dept. of Planning and Community Development  
Date: 8/24/2022  
RE: Docket 3711 – 101 Robbins Rd; Special Permit under Zoning Bylaw Section 5.3.9(A)  
Projections into Minimum Yards

---

The applicant, Lauren Duddy, seeks a Special Permit in accordance with Section 5.3.9 (A) Projections into Minimum Yards. The applicant seeks to replace a portico with a covered porch along the front façade of the existing single-family home, which is to be renovated with a two-story addition, rear deck, and other façade improvements. The proposed porch is approximately 160 square feet, which exceeds the maximum 25 square foot projection into a minimum yard allowable by right in the Zoning Bylaw. The purpose of the project is to create a convenient outdoor gathering place and front primary entrance to the dwelling, while also providing additional design detail to improve the aesthetics of the structure.

The structure is in the R-1 Zoning District and is nonconforming with the Zoning Bylaw's left side yard and usable open space requirements. The proposed porch would project forward approximately 5 feet from the front façade and the new entry stair would project forward another 3 feet, decreasing the front yard setback from 26 feet to 21 feet (change of +/- 5 feet).

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted in the R-1 Zoning District through the granting of a special permit.

Criterion #2: Public Convenience/Welfare

This proposal would improve the convenience and safety of the owner's entrance to their home.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

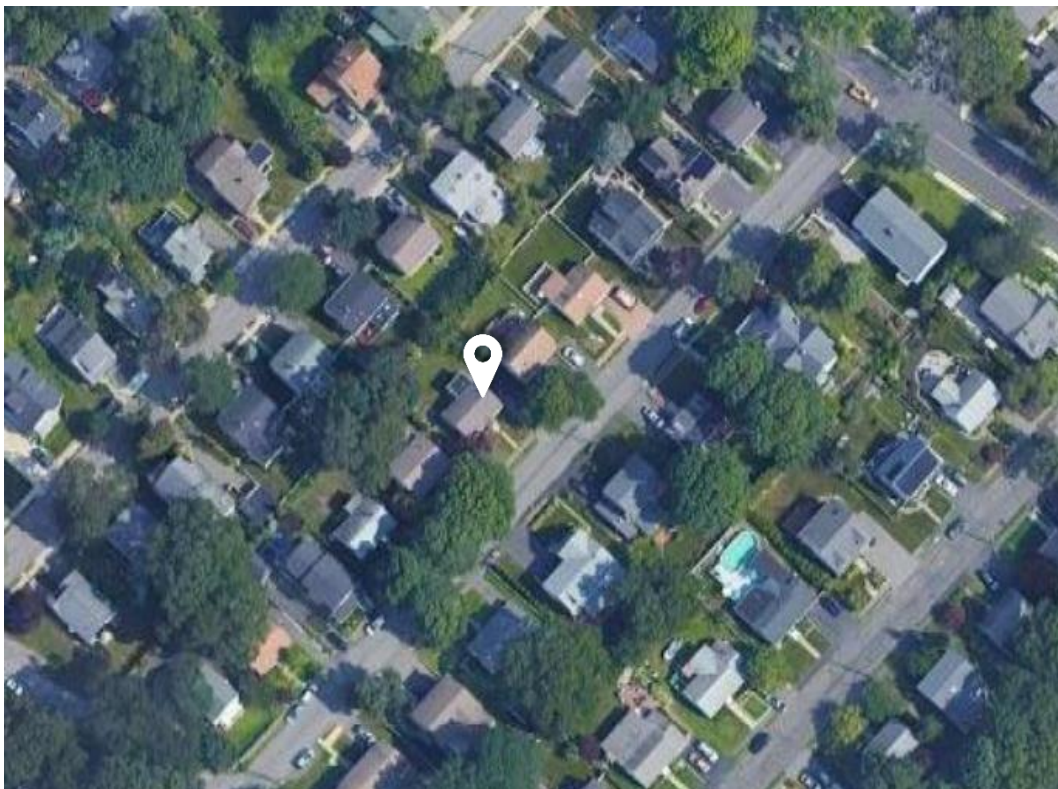
While the proposed front porch exceeds the maximum square footage allowable by right, covered or enclosed entries are a common feature of structures in the surrounding neighborhood, including on Robbins Road. In the immediate vicinity, the home across the street from the property has a covered porch that spans the full width of the structure excluding the front-facing garage.

Consistent with the Residential Design Guidelines, the proposed design will introduce human-scaled architectural variation to the overall streetscape and add visual interest to the front façade of the structure.<sup>1</sup> Furthermore, the proposal replaces a portico with a usable front porch that will reduce the appearance of height of the renovated structure.<sup>2</sup> Overall, this proposal would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

Criterion #7: Detrimental Excess in Particular Use

This proposal would not cause any detrimental excesses.

Below are aerial and street-based photos of the current building:



---

<sup>1</sup> Principle B-1 (pg. 26) and C-1 (pg. 34), Residential Design Guidelines, available at <https://www.arlingtonma.gov/home/showpublisheddocument/54518/637472609831970000>

<sup>2</sup> Principle B-2 (pg. 31), Residential Design Guidelines





Recommendation:

The Department of Planning and Community Development maintains that this proposal is consistent with the Special Permit criteria and recommends that the Zoning Board of Appeals approve this application.

Related Dockets:

- #3701: 79 Ronald Road – Applicant sought a special permit to construct an enclosed mudroom and covered front porch. Approved on 7/12/22.
- #3685: 47 Crosby St – Applicant sought a special permit to construct an enclosed mudroom and covered front porch. Approved on 1/11/22.
- #3684: 121 Brattle St – Applicant sought a special permit to construct an enclosed entryway and two dormers on the front façade of the structure. Approved on 1/11/22.



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

TOWN CLERK'S OFFICE  
ARLINGTON, MA 02476  
2022 JUL 28 PM 4:08

RECEIVED

### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Lauren Duddy** of Arlington, Massachusetts on July 15, 2022, a petition seeking permission to alter her property located at **101 Robbins Road - Block Plan 150.0-0002-0017.0** Said petition would require a Special Permit under **Section 5.39 (A)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening August 30, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**  
[https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDlrH9BzpU\\_mQMF2y5Ys20gtlBP9](https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDlrH9BzpU_mQMF2y5Ys20gtlBP9) **for documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at [www.arlington.gov/zba](http://www.arlington.gov/zba).**

**DOCKET NO 3711**

**Zoning Board of Appeals**  
**Christian Klein, RA, Chair**

Please direct any questions to: **[ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)**



**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**

In the matter of the Application of Lauren Duddy 101 Robbins Road  
to the Zoning Board of Appeals for the Town of Arlington:

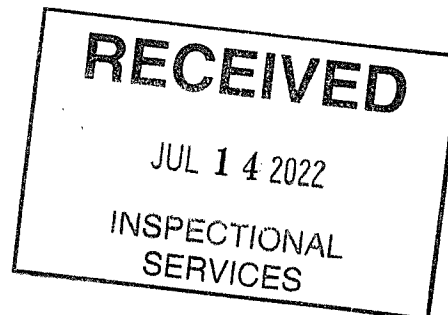
Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

5.3-B the applicant would like to apply a roof to the deck that encroaches on the front yard set back.

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 101 Robbins Road with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

The idea of providing a porch in the front of the home is fitting for the neighborhood and the overall characteristics as outlined in the Arlington Residential Design Guidelines. It is encouraged by these guidelines to provide public facing projections like Porches to reduce the massing of a home.

E-Mail: ldudd475@gmail.com Signed: Lauren Duddy Date: 7/10/22  
Telephone: 339-368-1284 Address: 101 Robbins Road, Arlington, MA 02474



**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**

In the matter of the Application of Lauren Duddy 101 Robbins Road  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

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E-Mail: ldudd475@gmail.com Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
Telephone: 339-368-1284 Address: 101 Robbins Road, Arlington, MA 02474

**Special Permit Criteria:** Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board’s determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

5.3.9 Projections into minimum yards

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B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*

This request does not seek a change in use for the property and has no impact to the public convenience or welfare.

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C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The addition of a roof over a deck to create a porch does not have an impact on the occupancy of the home, the porch would be on the property of the address and would not impact pedestrian safety.

---

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D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The of a porch will not impact any public systems, water will be redirected from the roof to the property where it can leech back into the ground water system.

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E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

There are no Special regulations that are applicable to this request

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The addition of the roof will help to activate the street, provide a public facing projection to create a  
gathering place and break up the massing of a two and one half story home.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The installation of a roof is in keeping with the design guidelines for the town to provide a space  
that is human scaled and allows for the placement of furniture. The addition of a roof reduces the  
appearance of the height of the home from the sidewalk.

**TOWN OF ARLINGTON**  
Dimensional and Parking Information  
For Applications to the Zoning Board of Appeals

1. Property Location: 101 Robbins Road Zoning District: R1
2. Present Use/Occupancy: Residential No. of dwelling units 1
3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
926 Sq. Ft.
4. Proposed Use/Occupancy: Residential No. of dwelling units 1
5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
2099 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	4,725	4,725	min. 6000
7. Frontage (Ft.)	52.5	52.5	min. 60
8. Floor area ratio	-	-	max. -
9. Lot Coverage ( %)	19.6	22.54	max 35.0
10. Lot Area per Dwelling Unit (Sq. Ft.)			min.
11. Front Yard Depth (Ft.)	26	21	min. 25
12. Left Side Yard Depth (Ft.)	9.4	9.4	min. 10
13. Right Side Yard Depth (Ft.)	10.7	10.7	min. 10
14. Rear Yard Depth (Ft.)	29.90	25.8	min. 18
15. Height (Stories)	1.5	2.5	max. 2.5
16. Height (Ft.)	21.70	34.91	max. 35
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	3,201	2,886	
17A. Landscaped Open Space (% of GFA)	28.93	72.73	min. 10
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	3,006	3,117	
18A. Usable Open Space (% of GFA)	30.81	67.34	min. 30
19. Number of Parking Spaces	2	2	min.
20. Parking area setbacks (if applicable)			min.
21. Number of Loading Spaces (if applicable)			min.
22. Type of construction			N/A
23. Slope of proposed roof(s) (in. per ft.)		9/12 & 12/12	min.

**TOWN OF ARLINGTON**  
Open Space / Gross Floor Area Information  
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 101 Robbins Road                      Zoning District: R1

<u>OPEN SPACE*</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Total lot area	<u>4,725</u>	<u>4,725</u>
Open Space, Usable	<u>3,006</u>	<u>3,117</u>
Open Space, Landscaped	<u>3,201</u>	<u>2,886</u>

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

<u>GROSS FLOOR AREA (GFA) †</u>		
Accessory Building	<u>0</u>	<u>0</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>0</u>	<u>0</u>
1 <sup>st</sup> Floor	<u>926</u>	<u>905</u>
2 <sup>nd</sup> Floor	<u>0</u>	<u>855</u>
3 <sup>rd</sup> Floor	<u></u>	<u></u>
4 <sup>th</sup> Floor	<u></u>	<u></u>
5 <sup>th</sup> Floor	<u></u>	<u></u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u>0</u>	<u>339</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u></u>	<u></u>
All weather habitable porches and balconies	<u></u>	<u></u>
<b>Total Gross Floor Area (GFA)</b>	<b><u>926</u></b>	<b><u>2099</u></b>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

<u>REQUIRED MINIMUM OPEN SPACE AREA</u>		
Landscaped Open Space (Sq. Ft.)	<u>3,201</u>	<u>2,886</u>
Landscaped Open Space (% of GFA)	<u>28.93</u>	<u>72.73</u>
Usable Open Space (Sq. Ft.)	<u>3,006</u>	<u>3,117</u>
Usable Open Space (% of GFA)	<u>30.81</u>	<u>67.34</u>

This worksheet applies to plans dated 07/03/2022 designed by John A. Piacitelli Sr. AIA

Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_



# Renovations to 101 Robbins Road

FOR

Lauren Duddy



Special Permit Request:  
To allow the instalaltion of a roof  
over a deck to create a porch

ZONING BOARD  
OF APPEALS  
JULY 11, 2022

**RECEIVED**

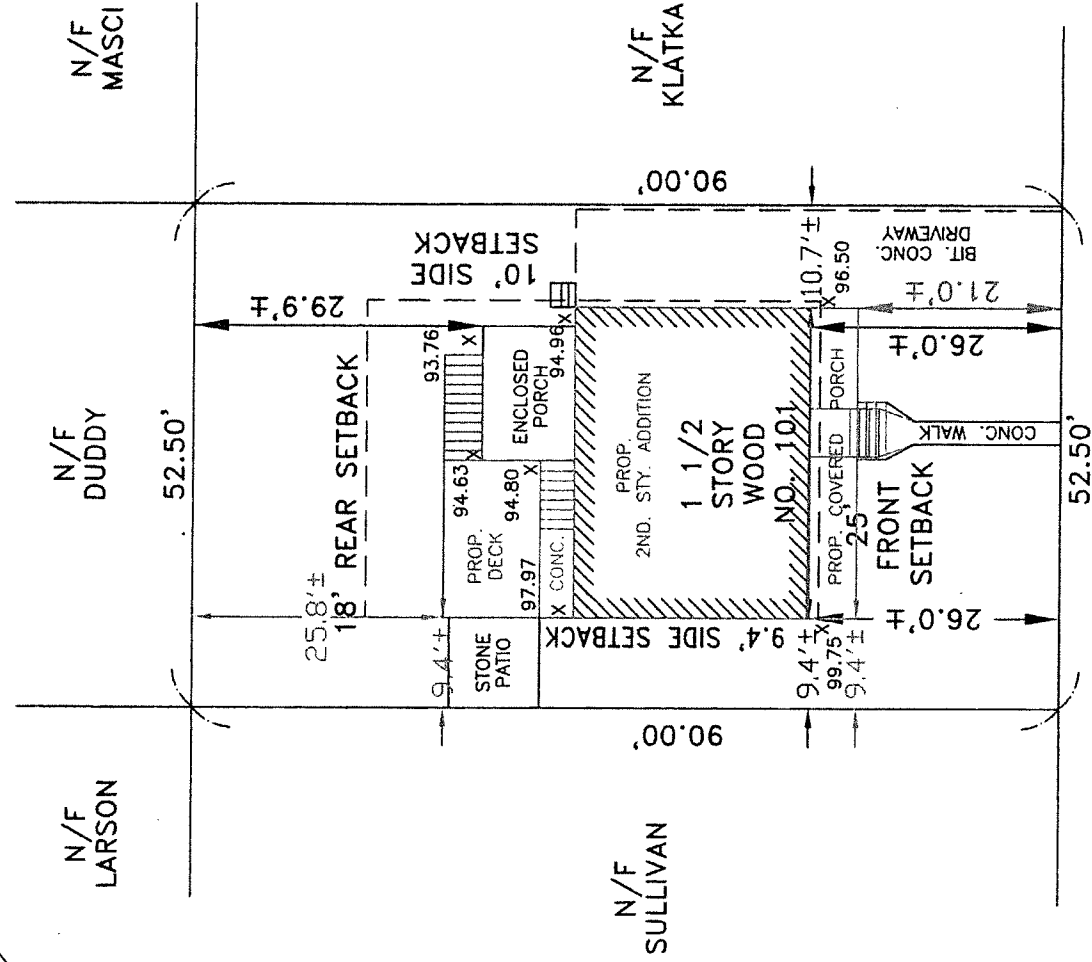
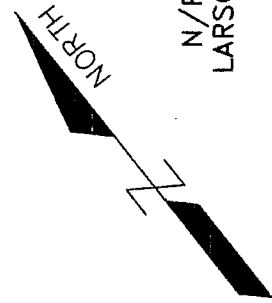
JUL 14 2022

INSPECTIONAL  
SERVICES

JOHN A.PIACITELLI  
ARCHITECTURE  
DESIGN  
CONSULTING

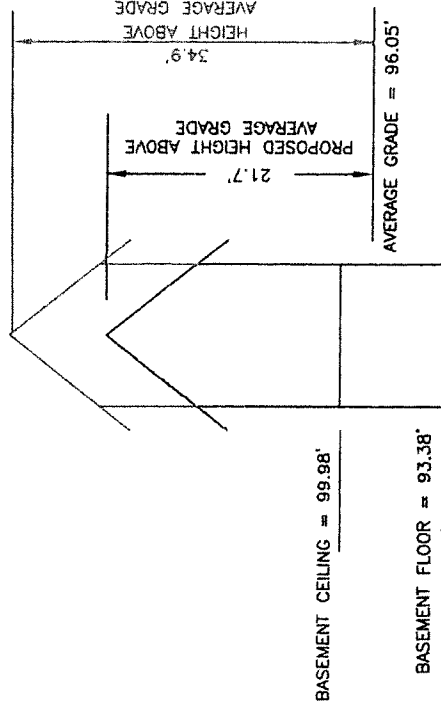
22 COPLEY AVE, WALTHAM, MA 02452  
Mobile: 617 538 4553  
EMAIL: Johnpi67@gmail.com





## ROBBINS ROAD

LOT AREA = 4,725 S.F.±  
EXISTING BUILDING = 926 S.F.±  
EXISTING PAVEMENT + WALK = 598 S.F.±  
PROPOSED ADDITION = 1,194 S.F.±  
EXISTING LOT COVERAGE = 19.6%  
PROPOSED LOT COVERAGE = 19.6%  
EXISTING OPEN SPACE = 67.7%  
PROPOSED OPEN SPACE = 67.7%



( IN FEET )

1 inch = 20 ft.

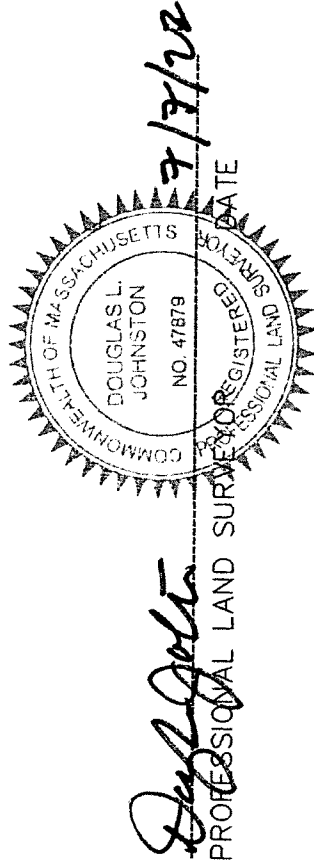
CERTIFIED PLOT PLAN  
IN

ARLINGTON, MA

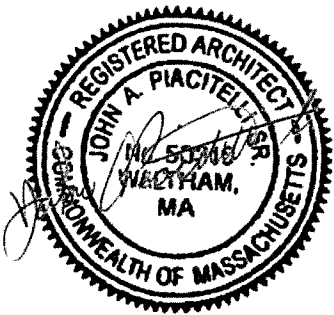
SCALE: 1" = 20' AUGUST 6, 2022

DLJ GEOMATICS  
PROFESSIONAL LAND SURVEYING  
276 NORTH STREET  
WEYMOUTH, MA 02191  
(781) 812-0457  
101 ROBBINS RD ARLINGTON.dwg

- NOTES
1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 72726, PAGE 422.
  2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN PLAN BOOK 200, PAGE 33.
  3. SUBJECT PARCEL IS LOCATED IN ZONE R-1.



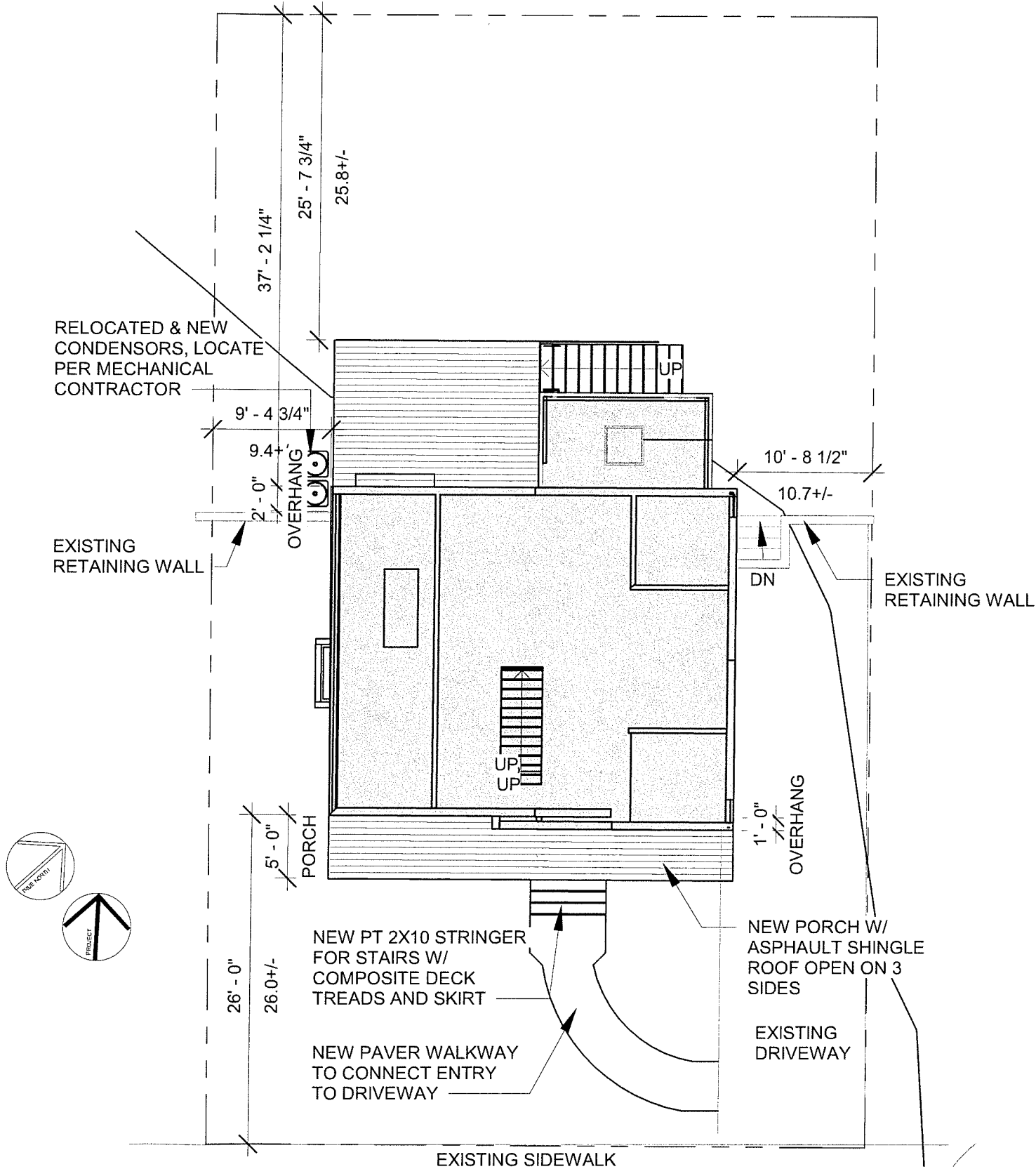
Renovations to  
101 Robbins Road  
Lauren Duddy



	07/06/22	ZBA REVIEW
No.	Date	Description
Issuance		

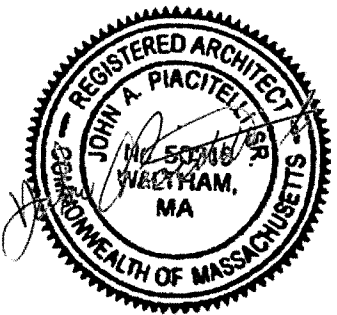
SITE PLAN

Date	07/03/2022
Scale	3/32" = 1'-0"





Renovations to  
101 Robbins Road  
Lauren Duddy

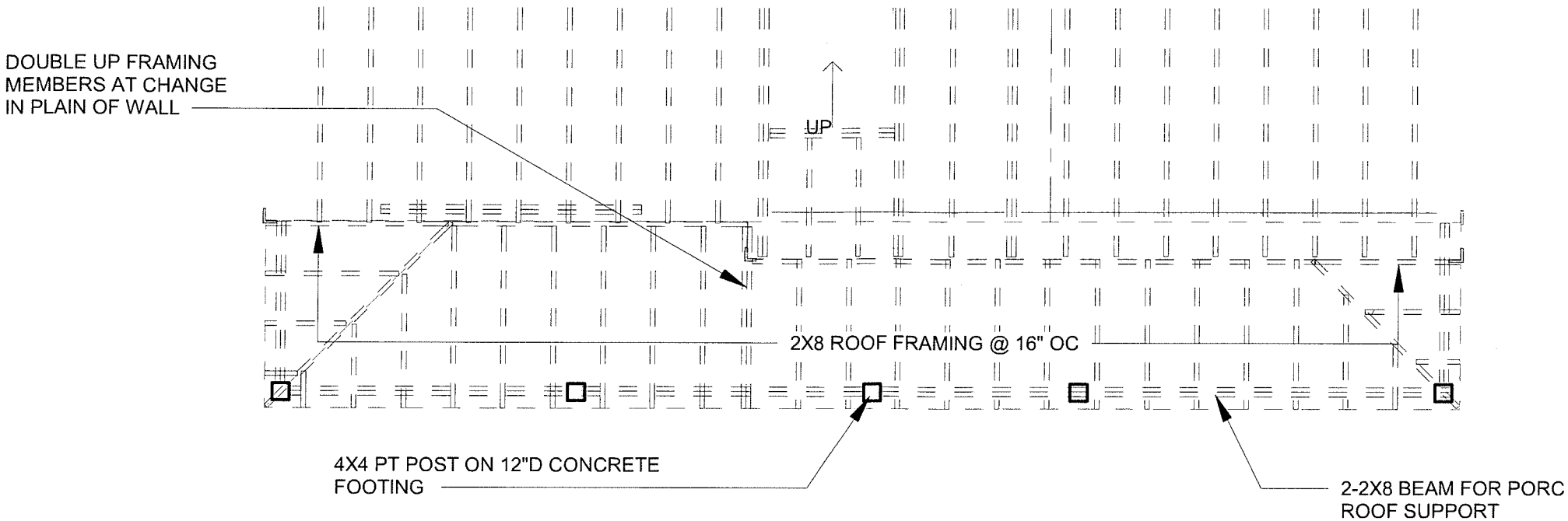


	07/06/22	ZBA REVIEW
No.	Date	Description
Issuance		

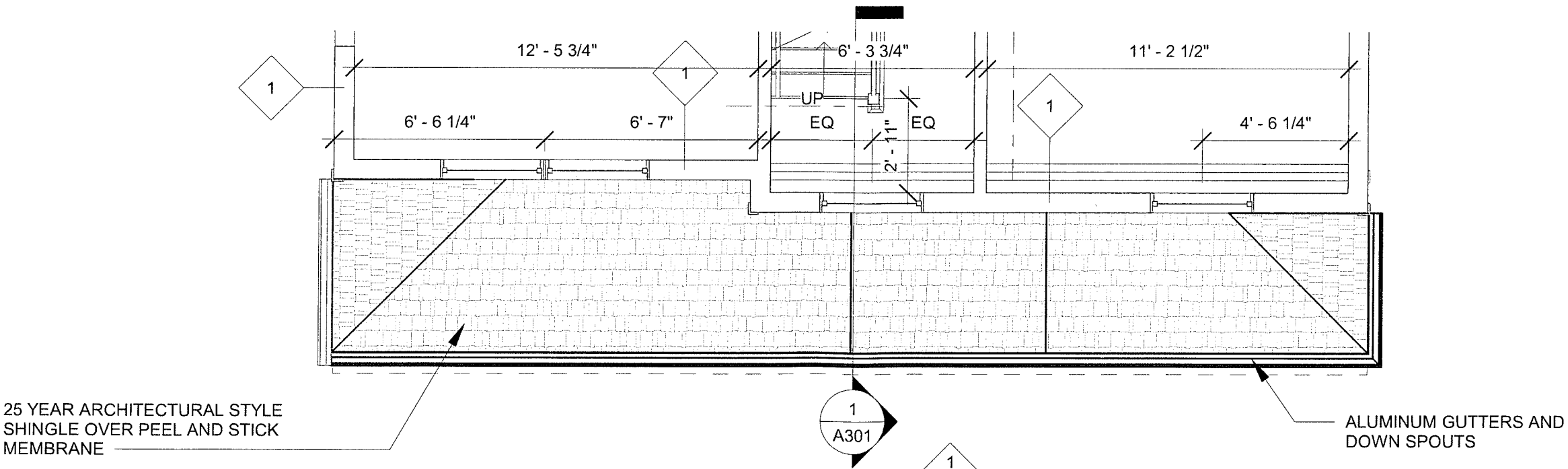
PORCH  
CONSTRUCTION &  
FRAMING PLAN

Date	07/03/2022
Scale	1/4" = 1'-0"

A3



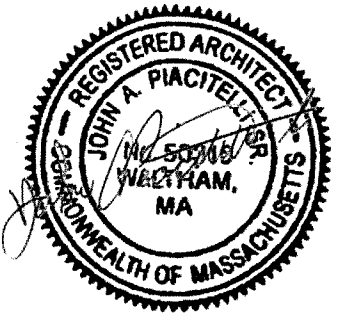
2 SECOND FLOOR FRAMING PLAN  
1/4" = 1'-0"



1 SECOND FLOOR CONSTRUCTION PLAN  
1/4" = 1'-0"

REGISTRATION

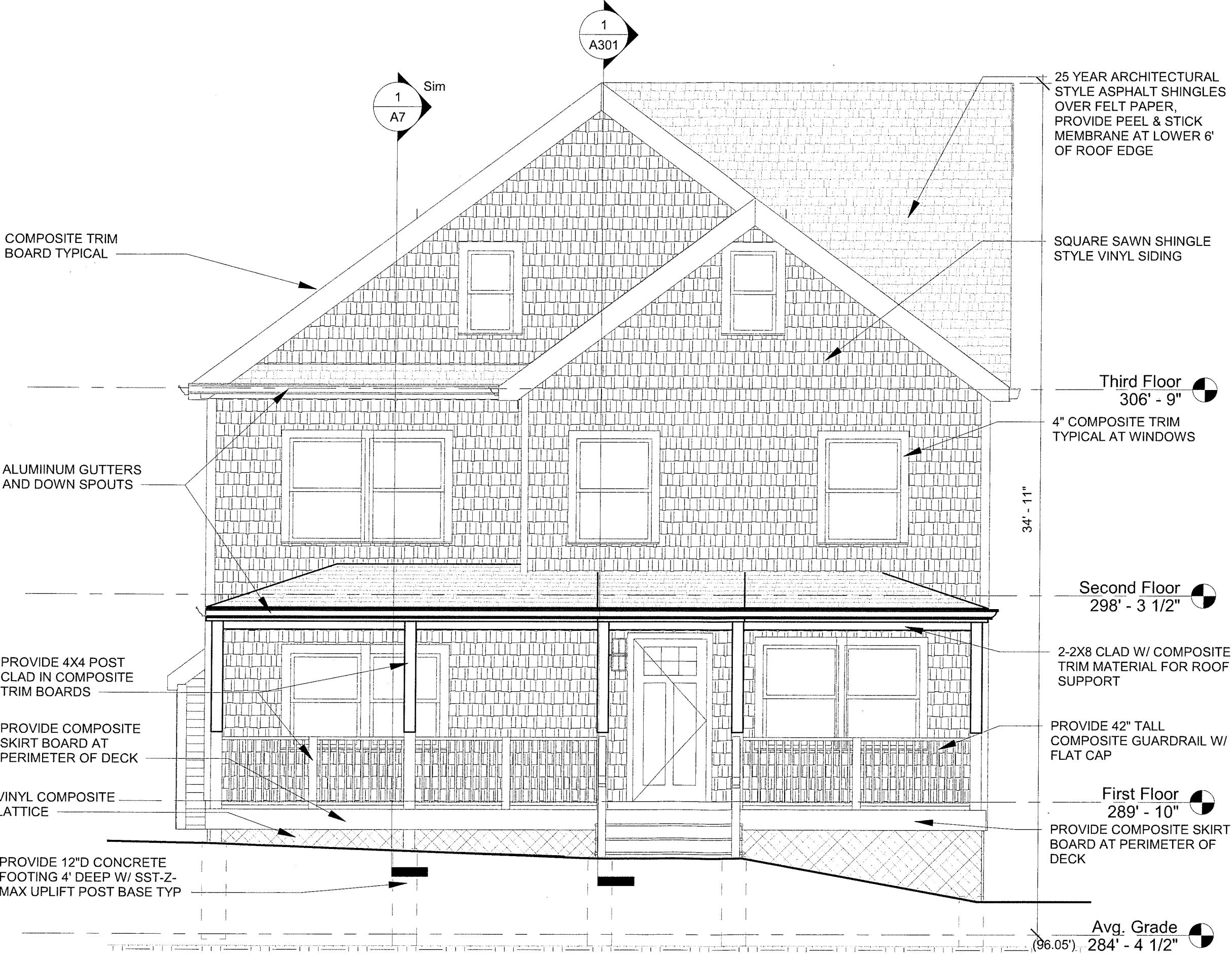
Renovations to  
101 Robbins Road  
Lauren Duddy



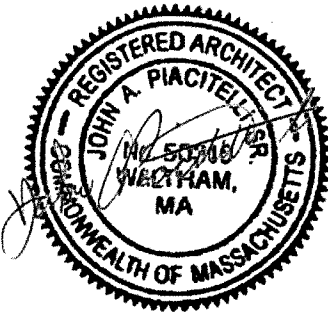
	07/06/22	ZBA REVIEW
No.	Date	Description
Issuance		

FRONT ELEVATION

Date	07/03/2022
Scale	1/4" = 1'-0"



Renovations to  
101 Robbins Road  
Lauren Duddy

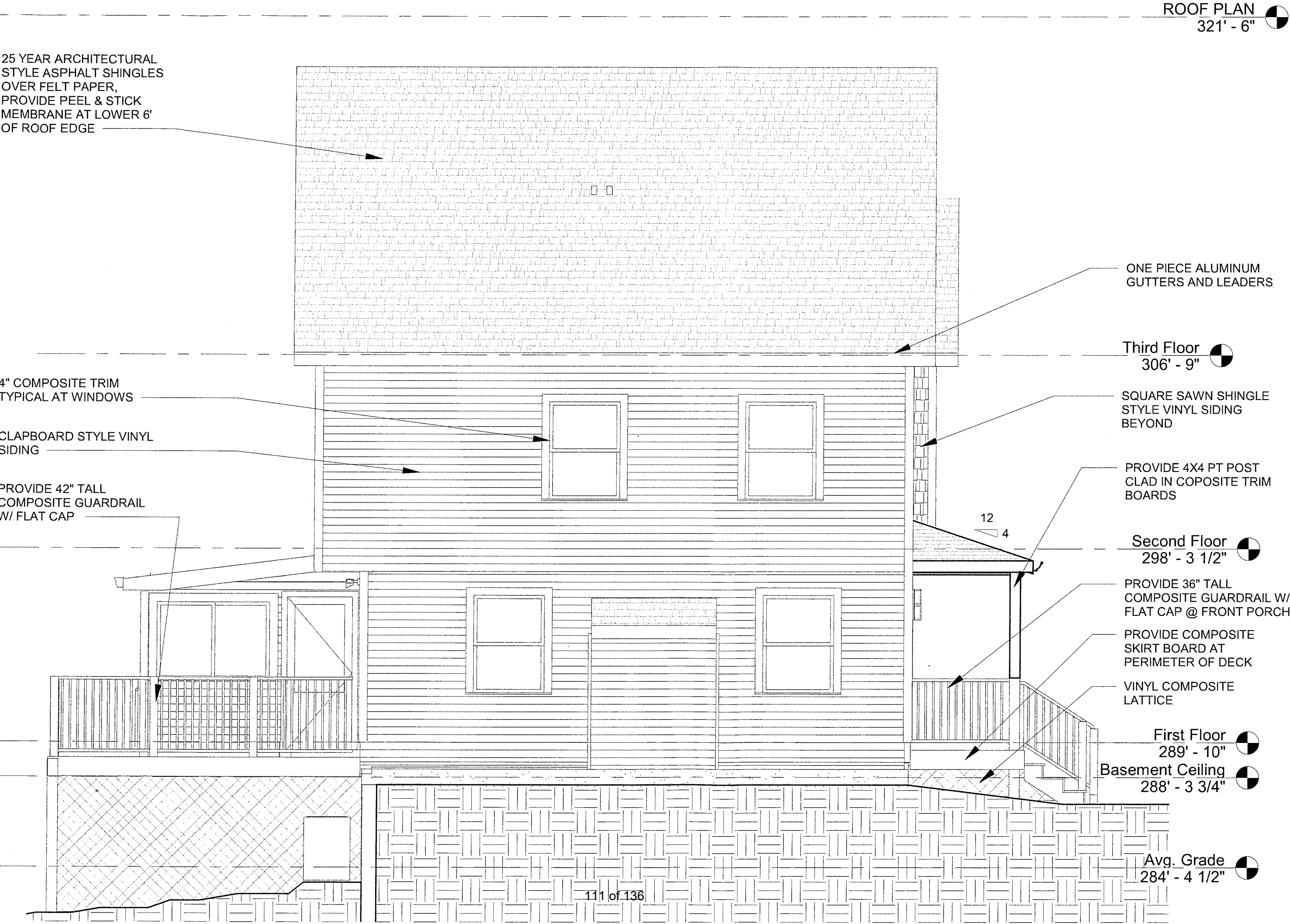


	07/06/22	ZBA REVIEW
No.	Date	Description
		Issuance

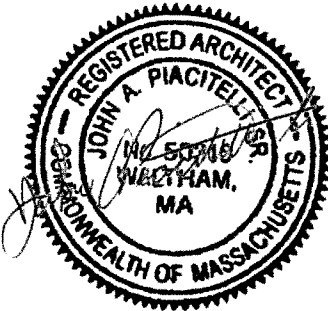
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Scale	1/4" = 1'-0"

A5



Renovations to  
101 Robbins Road  
Lauren Duddy

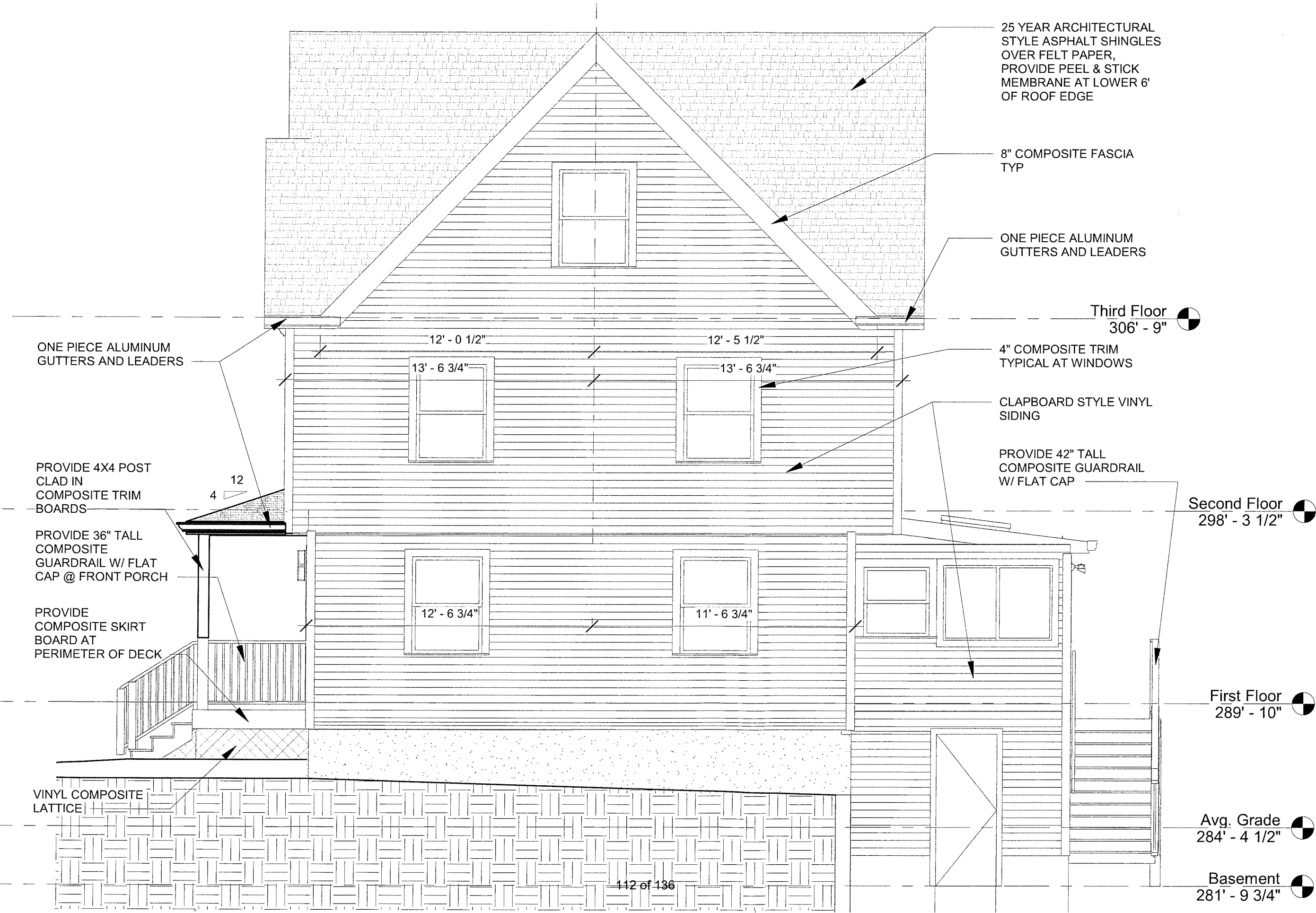


	07/06/22	ZBA REVIEW
No.	Date	Description
Issuance		

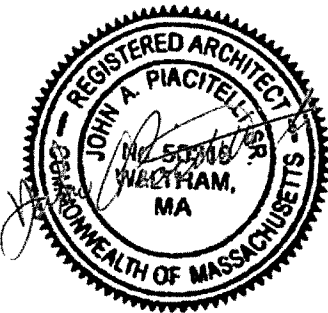
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A6



Renovations to  
101 Robbins Road  
Lauren Duddy

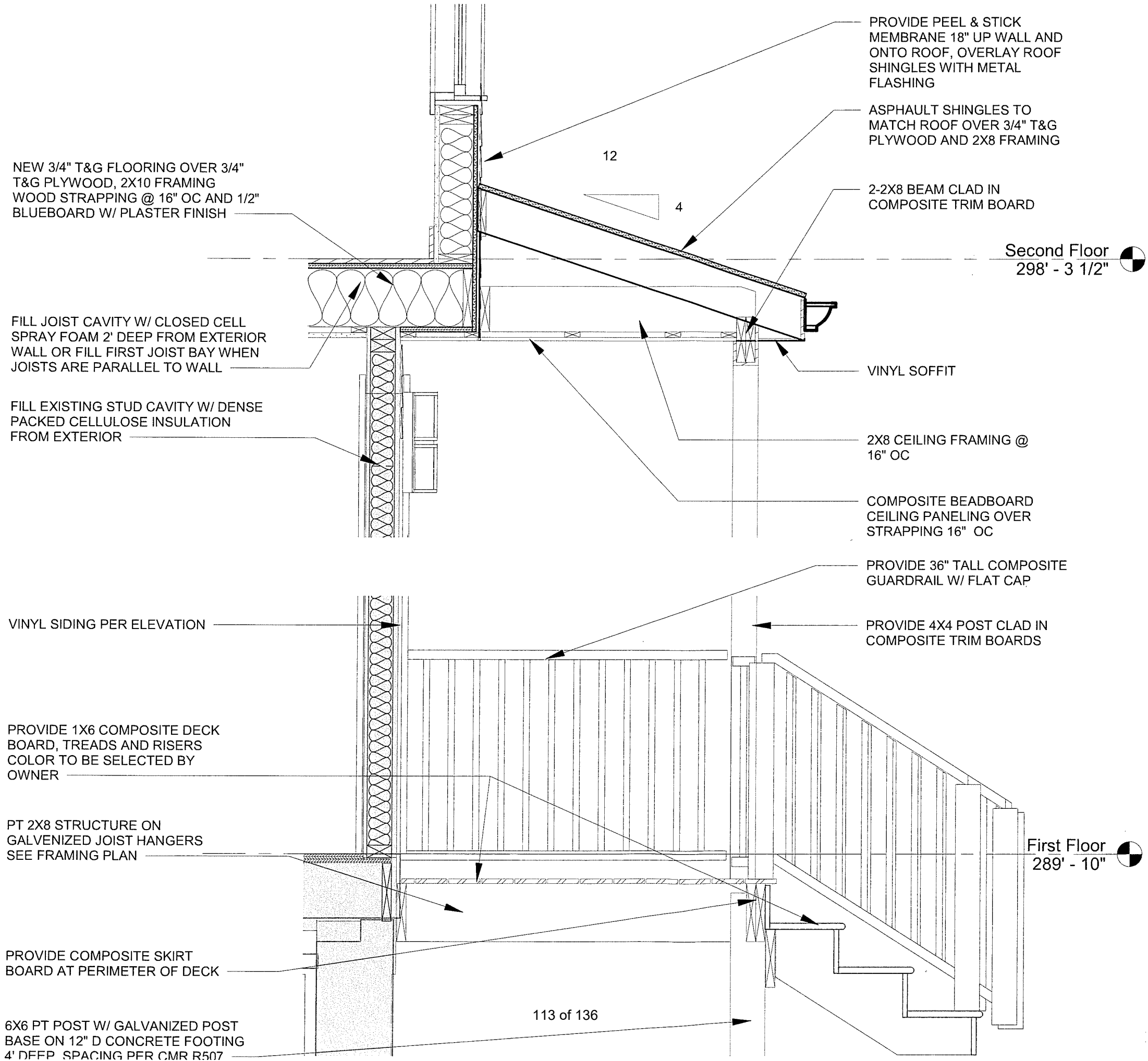


	07/06/22	ZBA REVIEW
No.	Date	Description
Issuance		

PORCH SECTION

Date	07/03/2022
Scale	3/4" = 1'-0"

A7





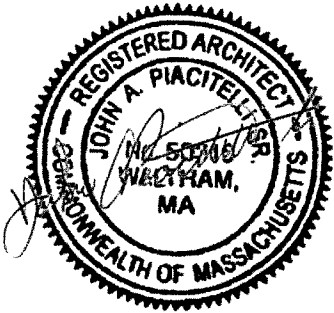
CEILING OF THE SPACE IS LESS THAN  
4'-6" ABOVE AVERAGE GRADE

JOHN A.PIACITELLI  
ARCHITECTURE  
DESIGN  
CONSULTING

22 COPLEY AVE, WALTHAM, MA 02452  
Mobile: 617 538 4553  
EMAIL:Johnpi67@gmail.com

REGISTRATION

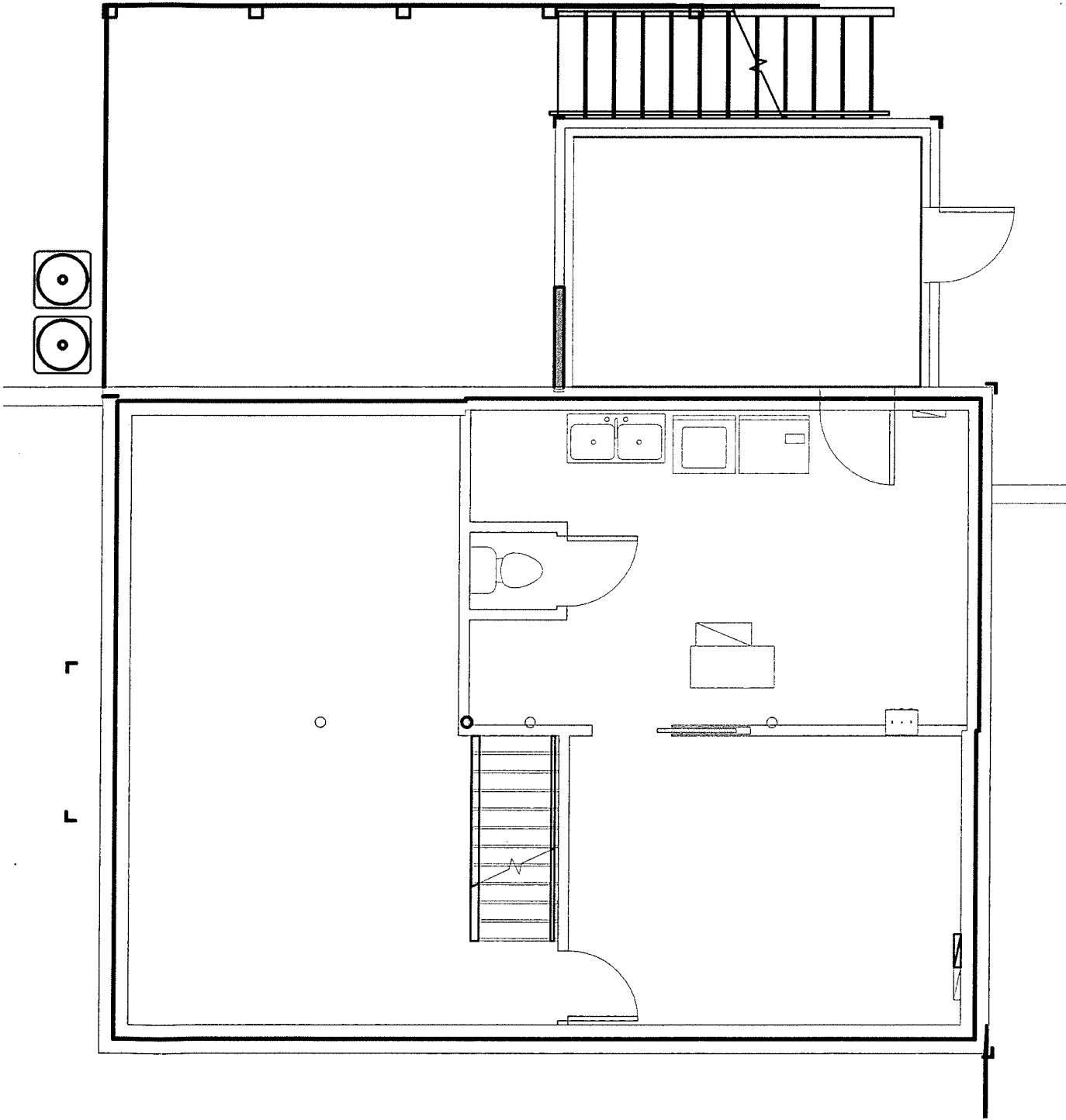
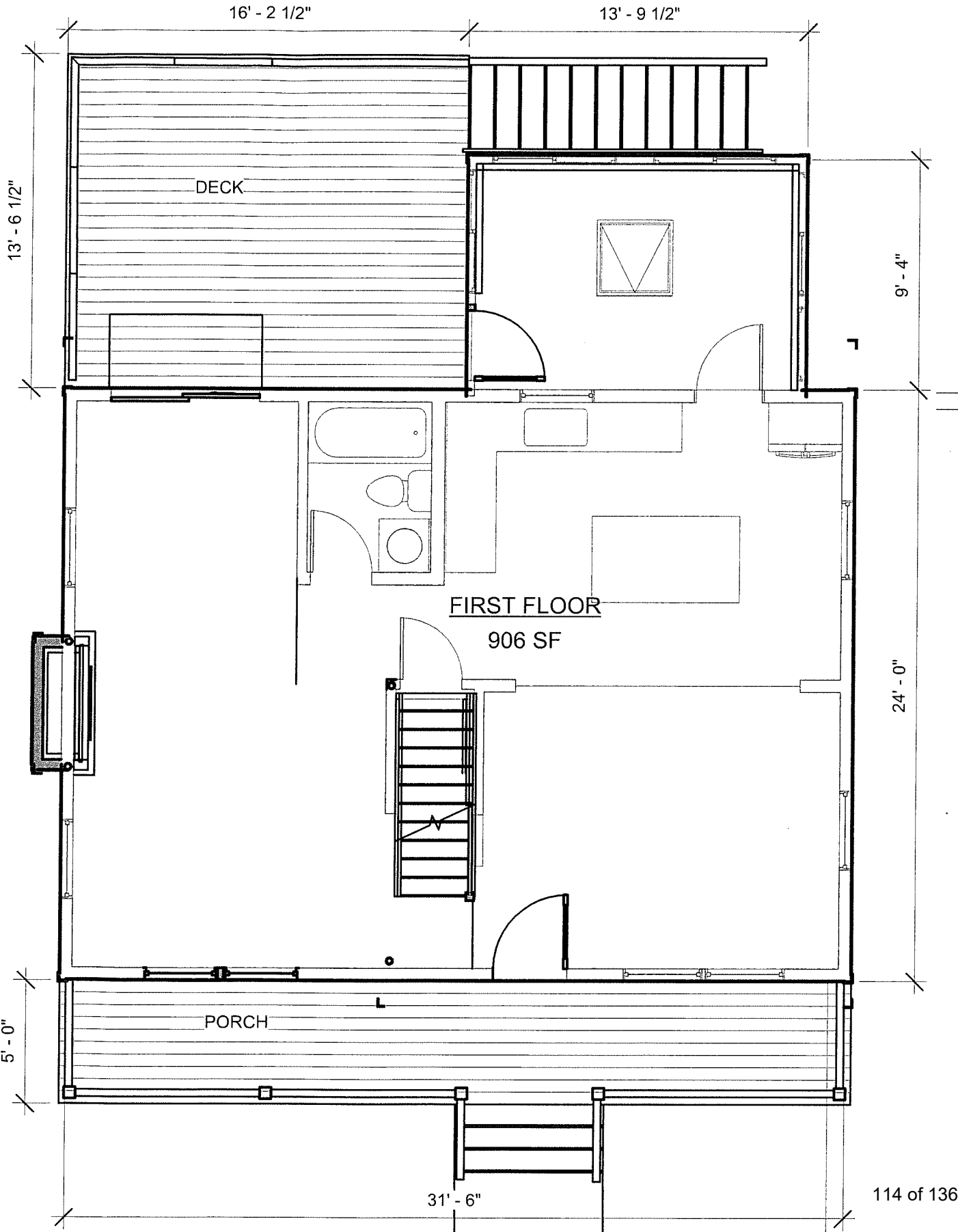
Renovations to  
101 Robbins Road  
Lauren Duddy



	07/06/22	ZBA REVIEW
No.	Date	Description
Issuance		

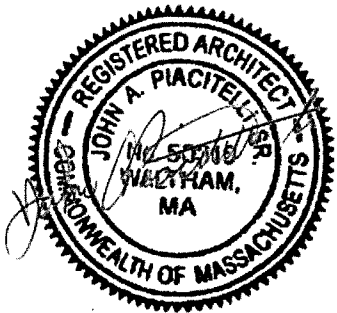
AREA INFORMATION

Date	07/03/2022
Scale	3/16" = 1'-0"



BASMENT AREA PLAN

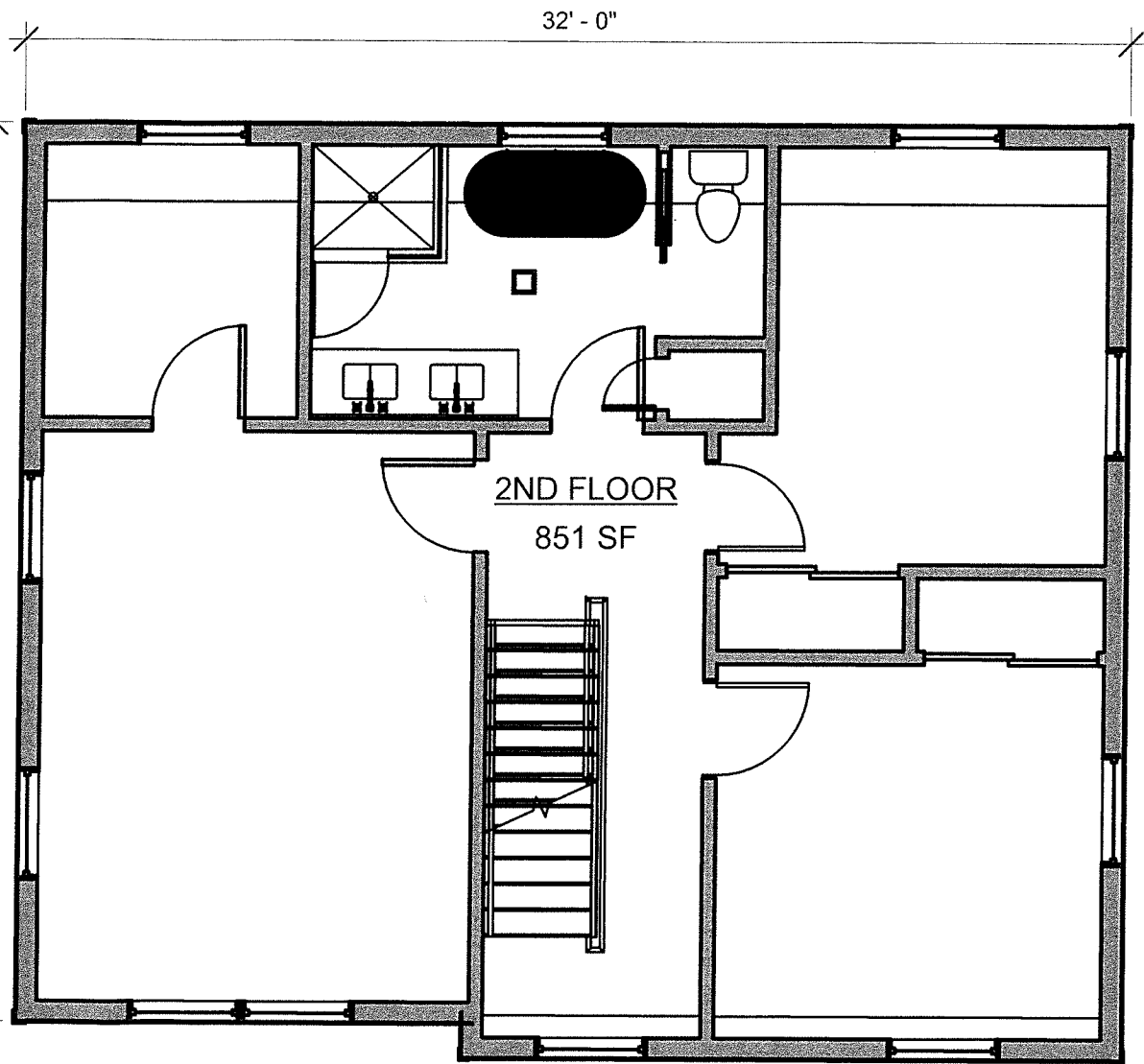
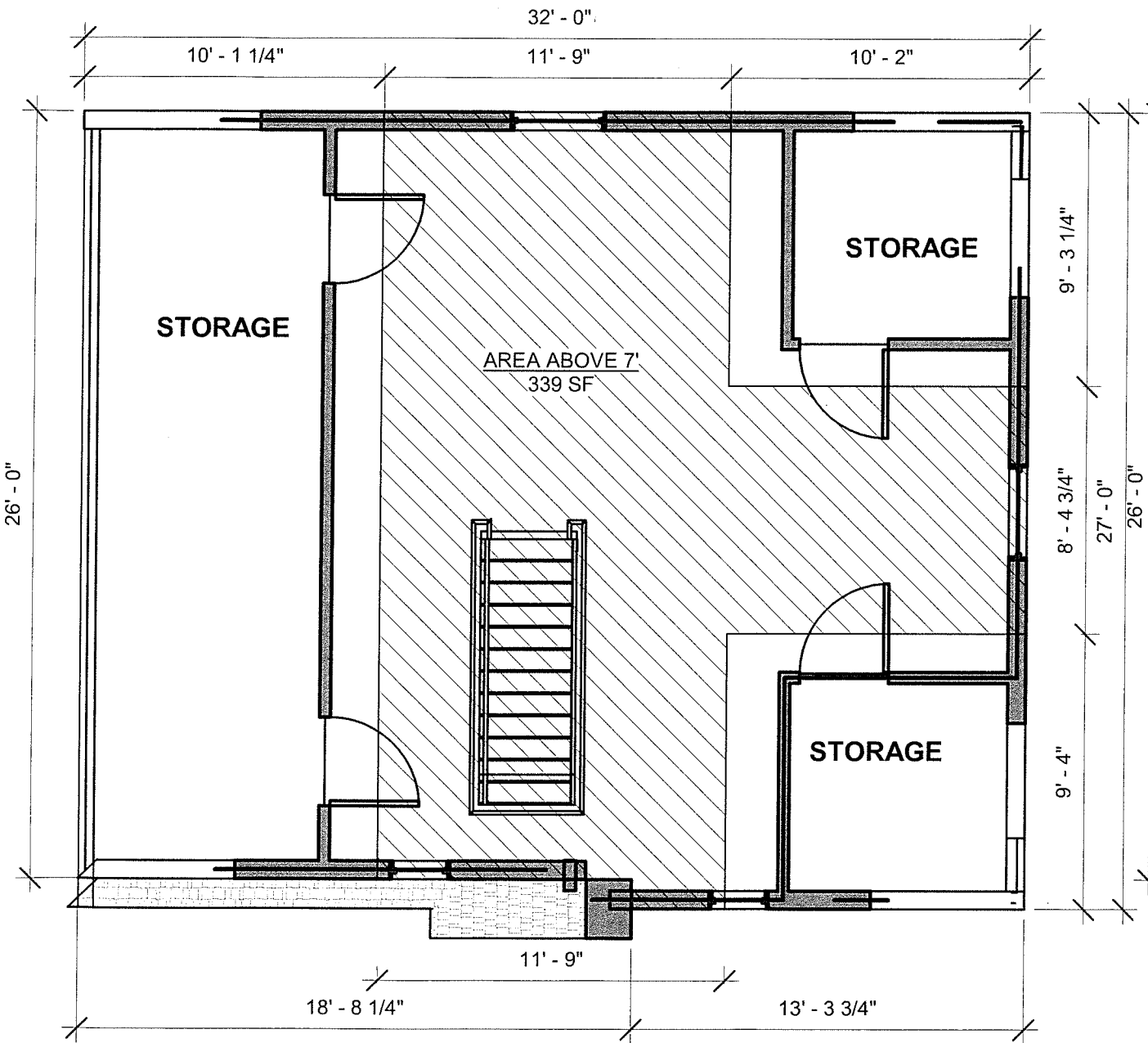
Renovations to  
101 Robbins Road  
Lauren Duddy



	07/06/22	ZBA REVIEW
No.	Date	Description
Issuance		

AREA INFORMATION

Date	07/03/2022
Scale	3/16" = 1'-0"





## **Town of Arlington, Massachusetts**

---

**Docket # 3712 : 60 Highland Avenue**

**ATTACHMENTS:**

Type	File Name	Description
<input type="checkbox"/> Reference Material	ZBA_Package__60_Highland_Avenue.pdf	ZBA Package, 60 Highland Avenue



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

TOWN CLERK'S OFFICE  
ARLINGTON, MA 02476  
2022 JUL 28 PM 4:07

RECEIVED

### LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Alissa Rooney and Brian Newkirk** of Arlington, MA. On July 15, 2022, a petition seeking permission to alter their property located at **60 Highland Avenue- Block Plan 140.0-0005-0004.0** Said petition would require a Special Permit under **Section 5.4.2B(6) Districts and Uses** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening August 30, 2022 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

**[https://town-arlington-ma-us.zoom.us/join/register/tZ0udu6hrz4iEtcR\\_6s\\_2r9eZiaorRASgbMh](https://town-arlington-ma-us.zoom.us/join/register/tZ0udu6hrz4iEtcR_6s_2r9eZiaorRASgbMh)**

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at [www.arlingtonma.gov/zba](http://www.arlingtonma.gov/zba).**

**DOCKET NO 3712**

**Zoning Board of Appeals**  
**Christian Klein, RA, Chair**

Please direct any questions to: **[ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us)**

**REQUEST FOR SPECIAL PERMIT**

**TOWN OF ARLINGTON**

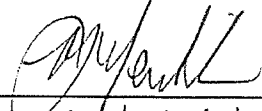
In the matter of the Application of Alissa Rooney and Brian Newkirk  
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

5.4.2 B (6): Large Additions. No alteration or addition which increases the gross floor area of a building by 750 sf or more, or by 50% or more of the building's gross floor area...

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 60 Highland Ave with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

The proposed additions are in keeping with the existing house on the lot. They will match the existing house's style. They will be lower and secondary to the existing house; they will defer to the existing house's design. To the extent they are visible from the street, they will not be obtrusive or detrimental to the existing streetscape.

E-Mail: alissa.rooney@gmail.com Signed:  Date: 28 June 22  
Telephone: 617-835-7400 Address: 60 Highland Ave Arlington, MA 02476

**Special Permit Criteria:** Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board’s determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.  
The existing and proposed uses are both a single family residence. This is an allowed use in the R1 district.  
\_\_\_\_\_

B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*  
This is the use the district is intended for.  
\_\_\_\_\_  
\_\_\_\_\_

C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*  
No change to the use is proposed. The use is and will continue to be just what the R1 district is intended for.  
\_\_\_\_\_

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*  
The use will remain a single family residence. No increase to the use of public water, drainage, sewer, or other municipal systems are anticipated.  
\_\_\_\_\_

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

There are no applicable special regulations for the use called for in Section 8. The use will  
be unchanged.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The use will be unchanged. The building will remain a single family house, only larger. It will  
be renovated and improved, a better version of what it is now.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The building will remain a single family house. The number of bedrooms will remain unchanged.  
The use will not be excessive or different than it is now. The house will not grow closer to either  
adjacent street. The open space that will remain will greatly exceed what is required.



**TOWN OF ARLINGTON**  
Dimensional and Parking Information  
For Applications to the Zoning Board of Appeals

1. Property Location: 60 Highland Avenue Zoning District: R1
2. Present Use/Occupancy: Residential No. of dwelling units 1
3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
2,991 SF Sq. Ft.
4. Proposed Use/Occupancy: Residential No. of dwelling units 1
5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):  
3,737 SF Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	10,350 SF	10,350 SF	min. 6,000 SF
7. Frontage (Ft.)	204.50'	204.50'	min. 60.00'
8. Floor area ratio	29%	36%	max. --
9. Lot Coverage ( %)	16%	21%	max 35%
10. Lot Area per Dwelling Unit (Sq. Ft.)	10,350 SF	10,350 SF	min. 6,000 SF
11. Front Yard Depth (Ft.)	20.56'	20.56'	min. 25'
12. Left Side Yard Depth (Ft.)	32.30'	32.30'	min. 10'
13. Right Side Yard Depth (Ft.)	26.70'	26.70'	min. 25'
14. Rear Yard Depth (Ft.)	32.60'	26.98'	min. 9.20'
15. Height (Stories)	2	2	max. 2.5
16. Height (Ft.)	28.40'	28.40'	max. 35'
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	6847 SF	6246 SF	
17A. Landscaped Open Space (% of GFA)	229%	167%	min. 10%
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	4743 SF	4341 SF	
18A. Usable Open Space (% of GFA)	159%	116%	min. 30%
19. Number of Parking Spaces	2	2	min. 1
20. Parking area setbacks (if applicable)	N/A	N/A	min. N/A
21. Number of Loading Spaces (if applicable)	N/A	N/A	min. N/A
22. Type of construction	V (wood framed)	V (wood framed)	N/A
23. Slope of proposed roof(s) (in. per ft.)	8	8	min. N/A

**TOWN OF ARLINGTON**  
Open Space / Gross Floor Area Information  
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 60 Highland Avenue                      Zoning District: R1

<u>OPEN SPACE*</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Total lot area	<u>10,350 SF</u>	<u>10,350 SF</u>
Open Space, Usable	<u>4743 SF</u>	<u>4341 SF</u>
Open Space, Landscaped	<u>6847 SF</u>	<u>6246 SF</u>

\* Refer to the Definitions in Section 2 of the Zoning Bylaw.

<u>GROSS FLOOR AREA (GFA) †</u>		
Accessory Building	<u>437 SF</u>	<u>437 SF</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>0 SF</u>	<u>0 SF</u>
1 <sup>st</sup> Floor	<u>1,401 SF</u>	<u>1,690 SF</u>
2 <sup>nd</sup> Floor	<u>1,153 SF</u>	<u>1,610 SF</u>
3 <sup>rd</sup> Floor	<u>0 SF</u>	<u>0 SF</u>
4 <sup>th</sup> Floor	<u>0 SF</u>	<u>0 SF</u>
5 <sup>th</sup> Floor	<u>0 SF</u>	<u>0 SF</u>
Attic (greater than 7’-0” in height, excluding elevator machinery, or mechanical equipment)	<u>0 SF</u>	<u>0 SF</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>0 SF</u>	<u>0 SF</u>
All weather habitable porches and balconies	<u>0 SF</u>	<u>0 SF</u>
<b>Total Gross Floor Area (GFA)</b>	<b><u>2,991 SF</u></b>	<b><u>3,737 SF</u></b>

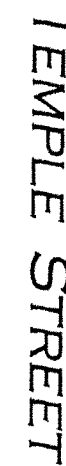
† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

<u>REQUIRED MINIMUM OPEN SPACE AREA</u>		
Landscaped Open Space (Sq. Ft.)	<u>6847 SF</u>	<u>6246 SF</u>
Landscaped Open Space (% of GFA)	<u>229%</u>	<u>167%</u>
Usable Open Space (Sq. Ft.)	<u>4743 SF</u>	<u>4341 SF</u>
Usable Open Space (% of GFA)	<u>159%</u>	<u>116%</u>

This worksheet applies to plans dated 06/28/2022 designed by David Whitney

Reviewed with Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_

PLAN BOOK 207 PLAN 17



SB/DH  
(FOUND)

EDWARD J. FARRELL P.L.S.

7-14-22  
DATE

123 of 136

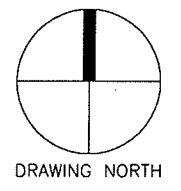
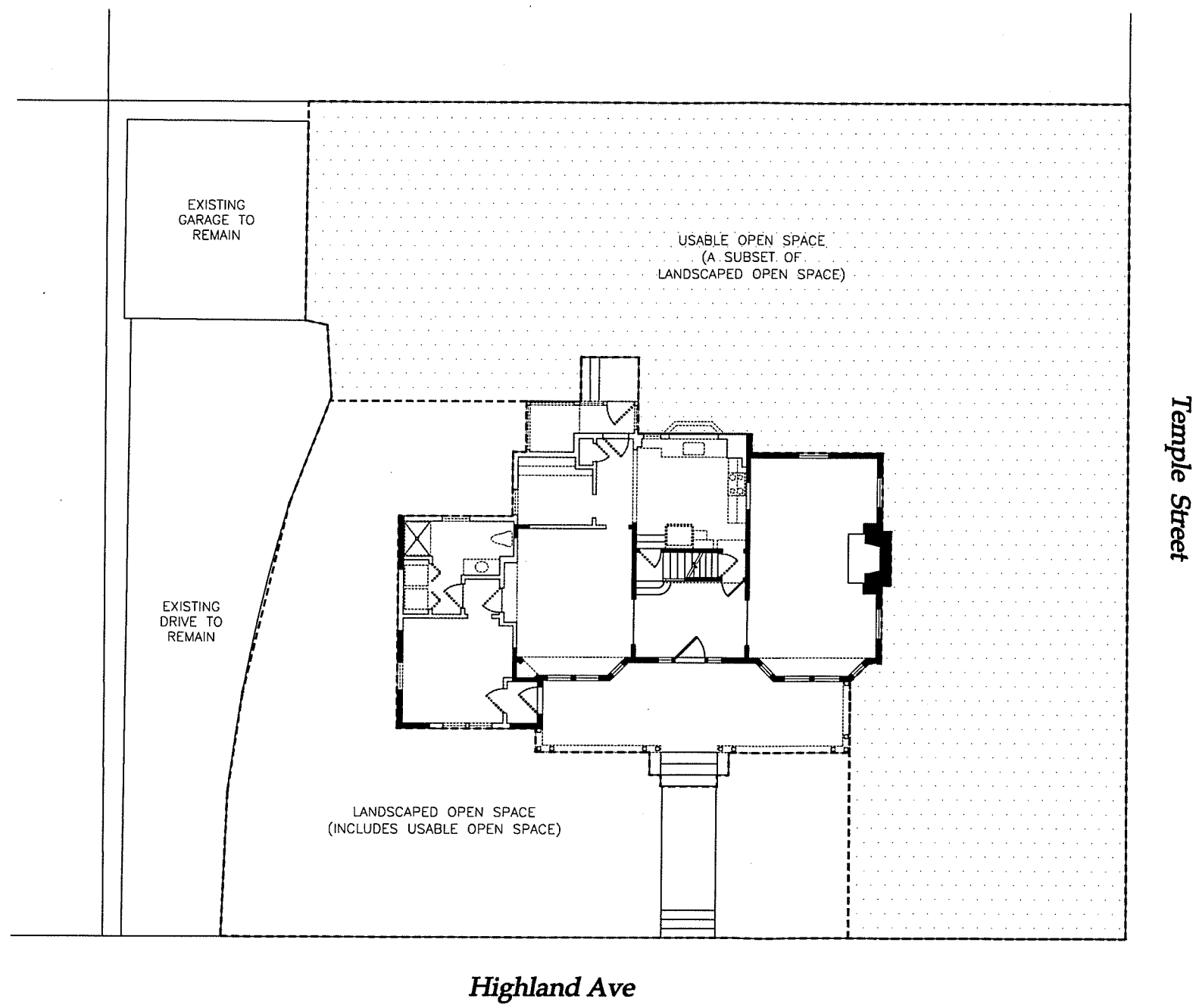
# ROONEY - NEWKIRK RESIDENCE

60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

DAVID WHITNEY

ARCHITECT

49 LINDEN STREET  
ARLINGTON, MA 02476  
781 643 0759



DAVID WHITNEY  
ARCHITECT

49 LINDEN STREET  
ARLINGTON, MA 02476  
781 643 0759

ROONEY - NEWKIRK RESIDENCE  
60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

TITLE:  
**Demolition  
Site Plan**

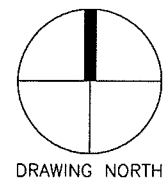
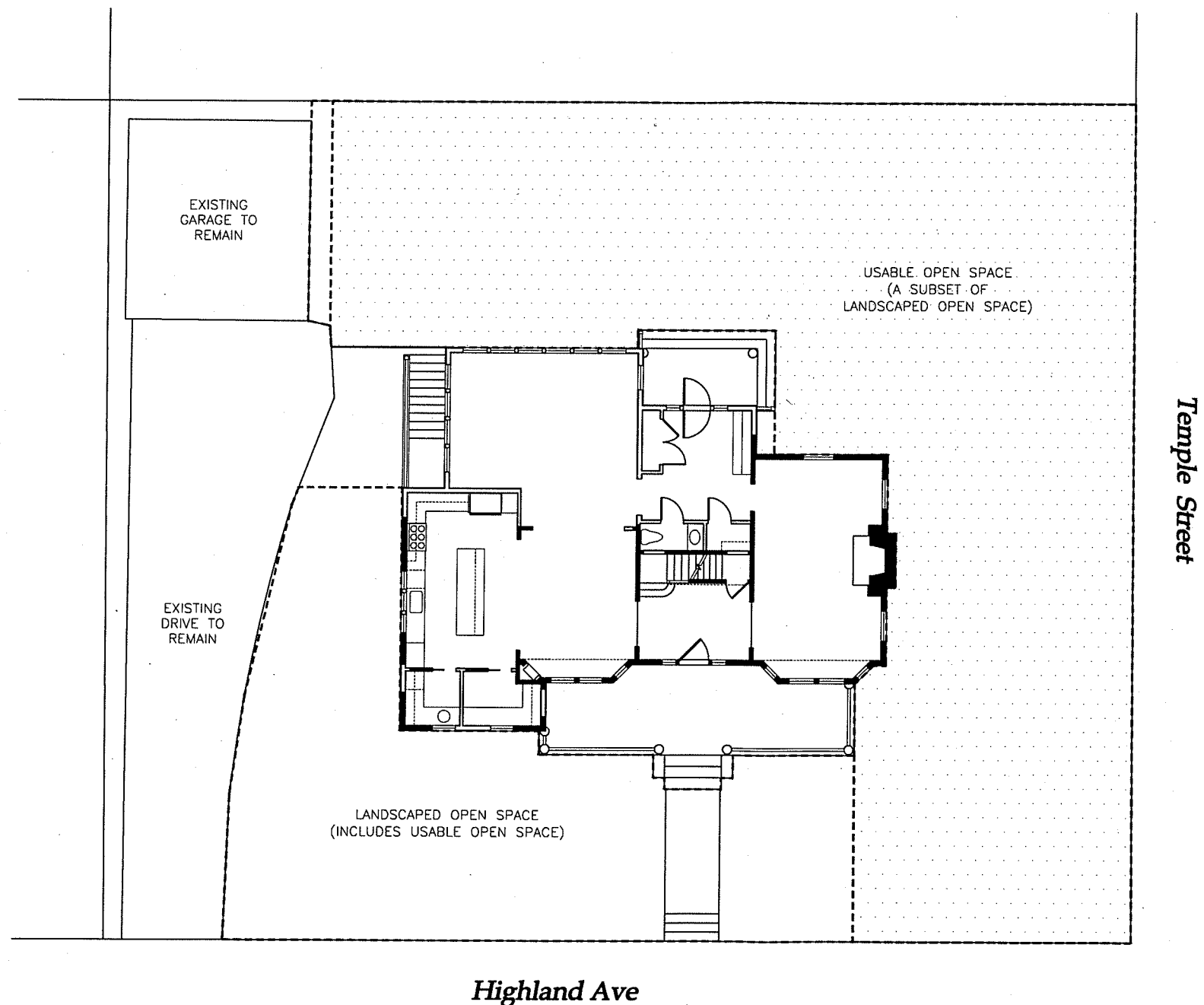
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DRAWN BY: DWW      FILE: PLANS

SHEET

**D0.1**

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781 643 0759

ROONEY - NEWKIRK RESIDENCE  
60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

TITLE:

Site Plan

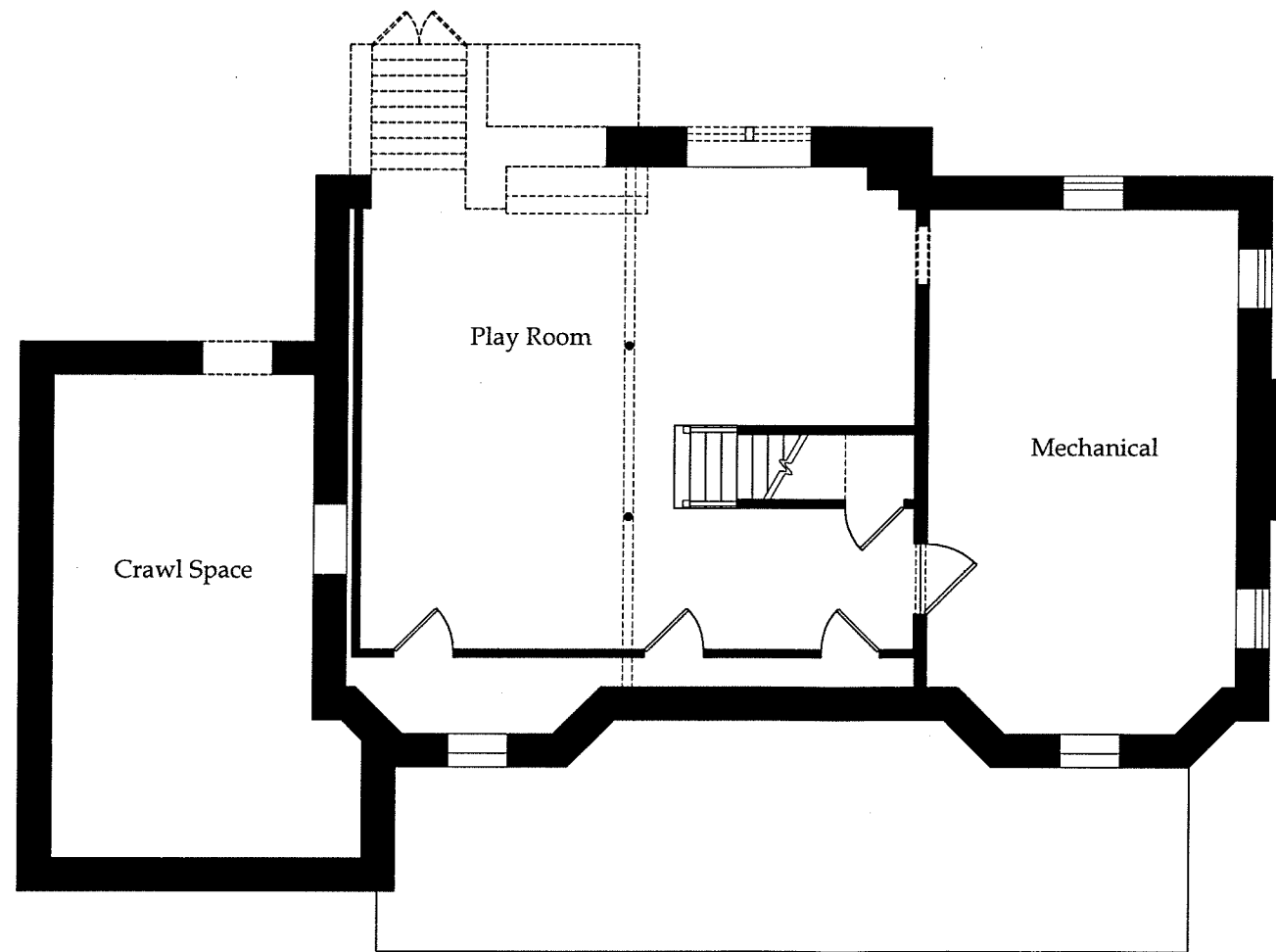
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DATE: 6.28.22

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60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

TITLE:  
**Basement  
Demolition Plan**

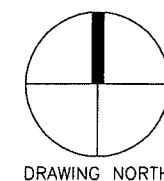
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DRAWING NORTH

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ROONEY - NEWKIRK RESIDENCE  
60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

TITLE:  
First Floor  
Demolition Plan

SCALE: 1/8" = 1'-0" DATE: 6.28.22

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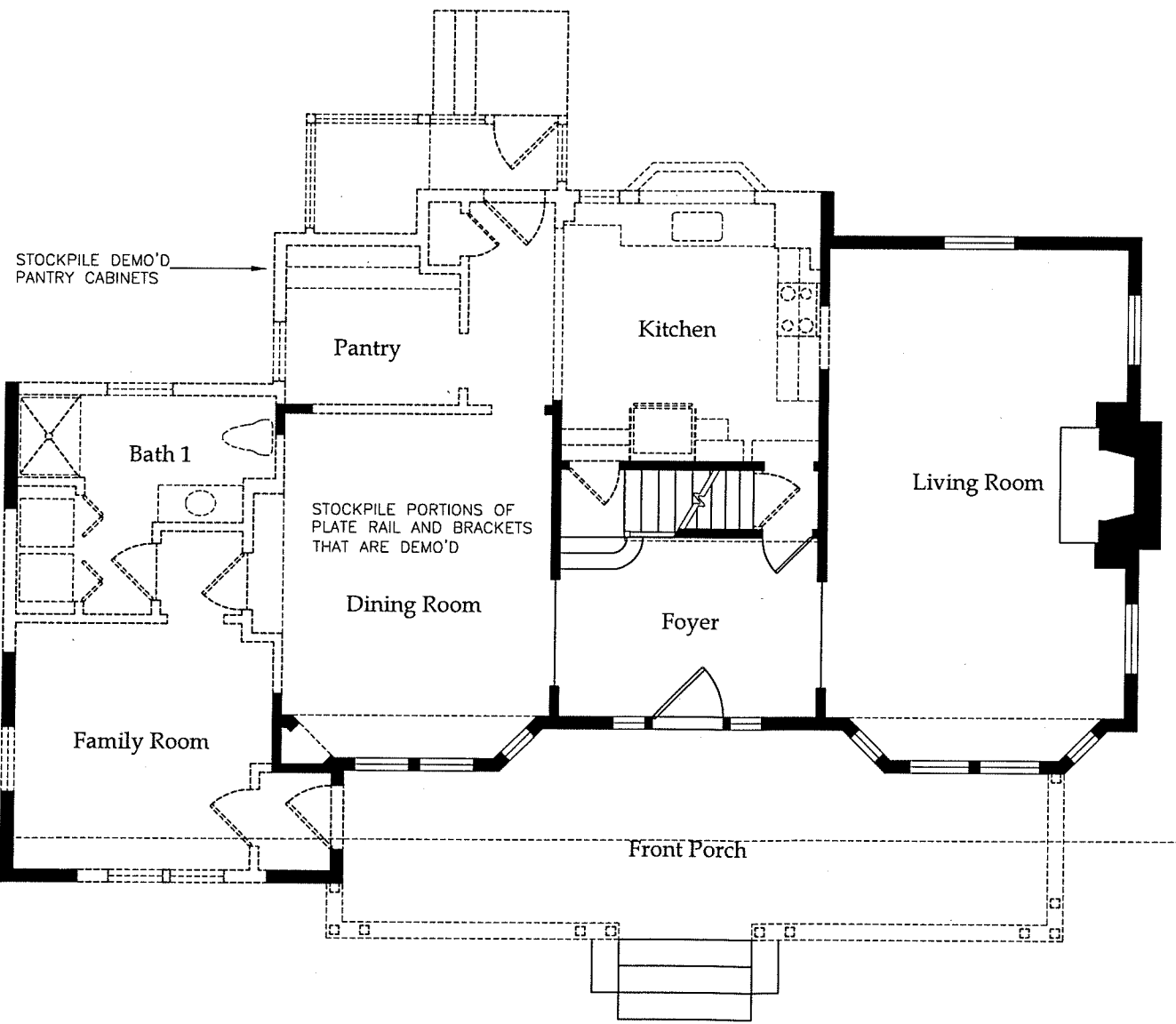
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D1.1

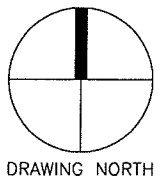
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REQUIRED SETBACKS

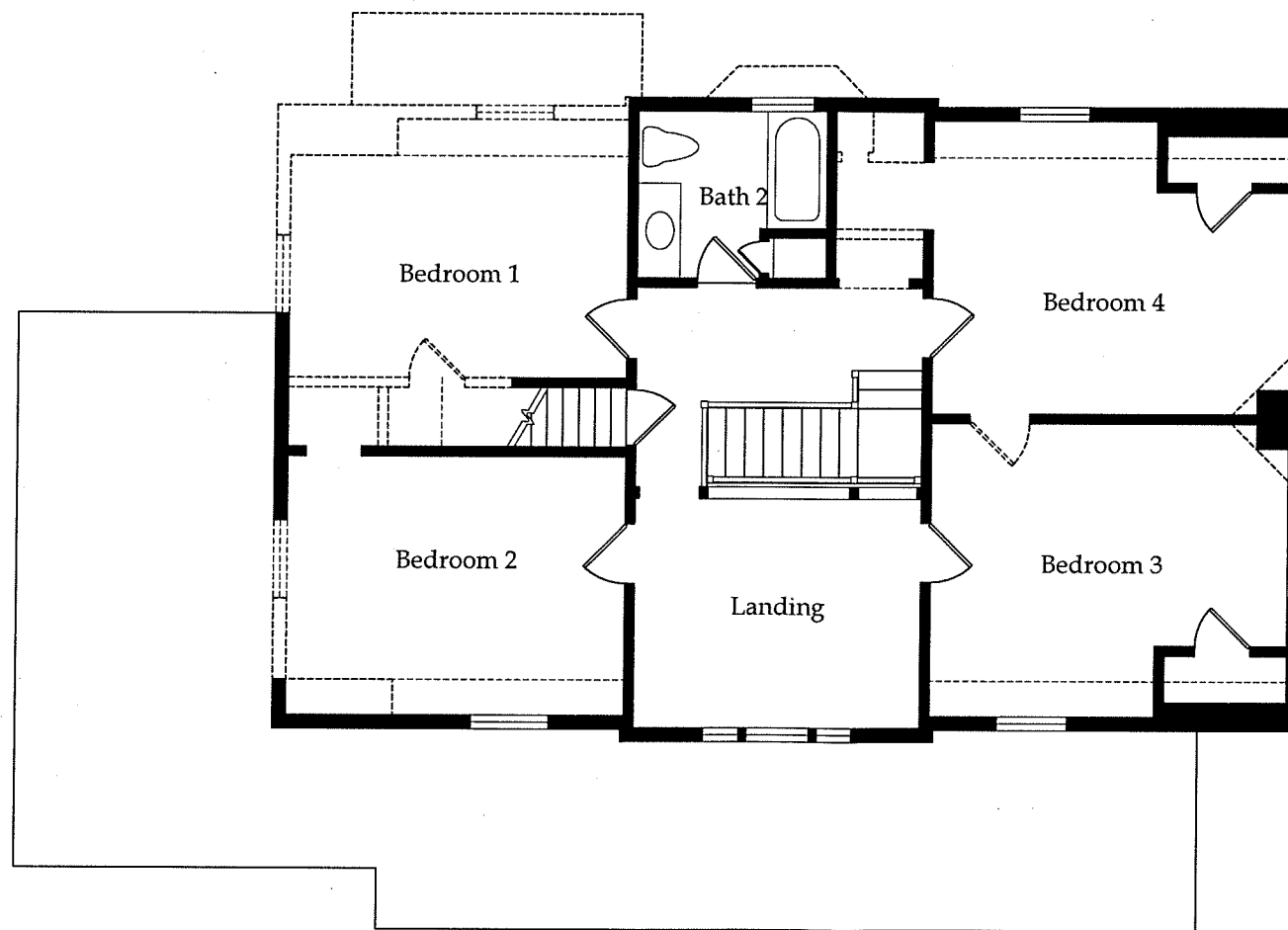
EXISTING GARAGE  
TO REMAIN



REMOVE EXISTING HEATING  
SYSTEM ENTIRELY, INCLUDING  
BOILER, ALL EXPOSED PIPES,  
AND ALL RADIATORS. CARRY  
PATCHING FINISHES AS  
REQUIRED IN BASE BID.







REMOVE EXISTING HEATING  
SYSTEM ENTIRELY, INCLUDING  
BOILER, ALL EXPOSED PIPES,  
AND ALL RADIATORS. CARRY  
PATCHING FINISHES AS  
REQUIRED IN BASE BID.

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ARCHITECT

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ARLINGTON, MA 02476  
781 643 0759

ROONEY - NEWKIRK RESIDENCE  
60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

TITLE:

Second Floor  
Demolition Plan

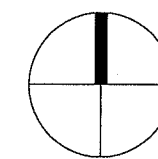
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SHEET

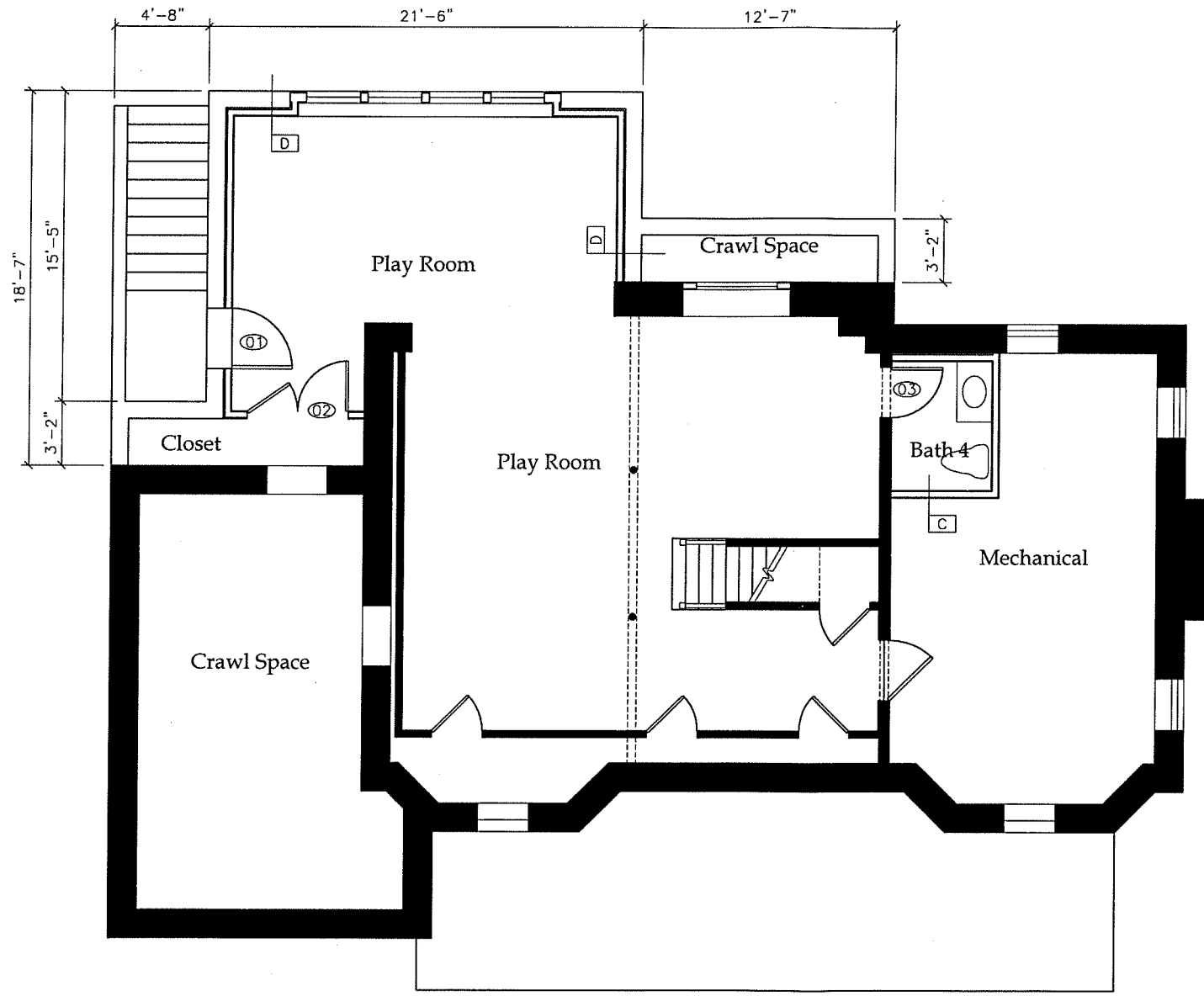
D1.2

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ALL DIMENSIONS TO FRAMING  
UNLESS OTHERWISE NOTED



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781 643 0759

ROONEY - NEWKIRK RESIDENCE  
60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

TITLE:

Basement Plan

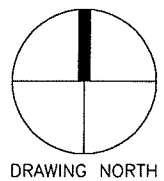
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SHEET

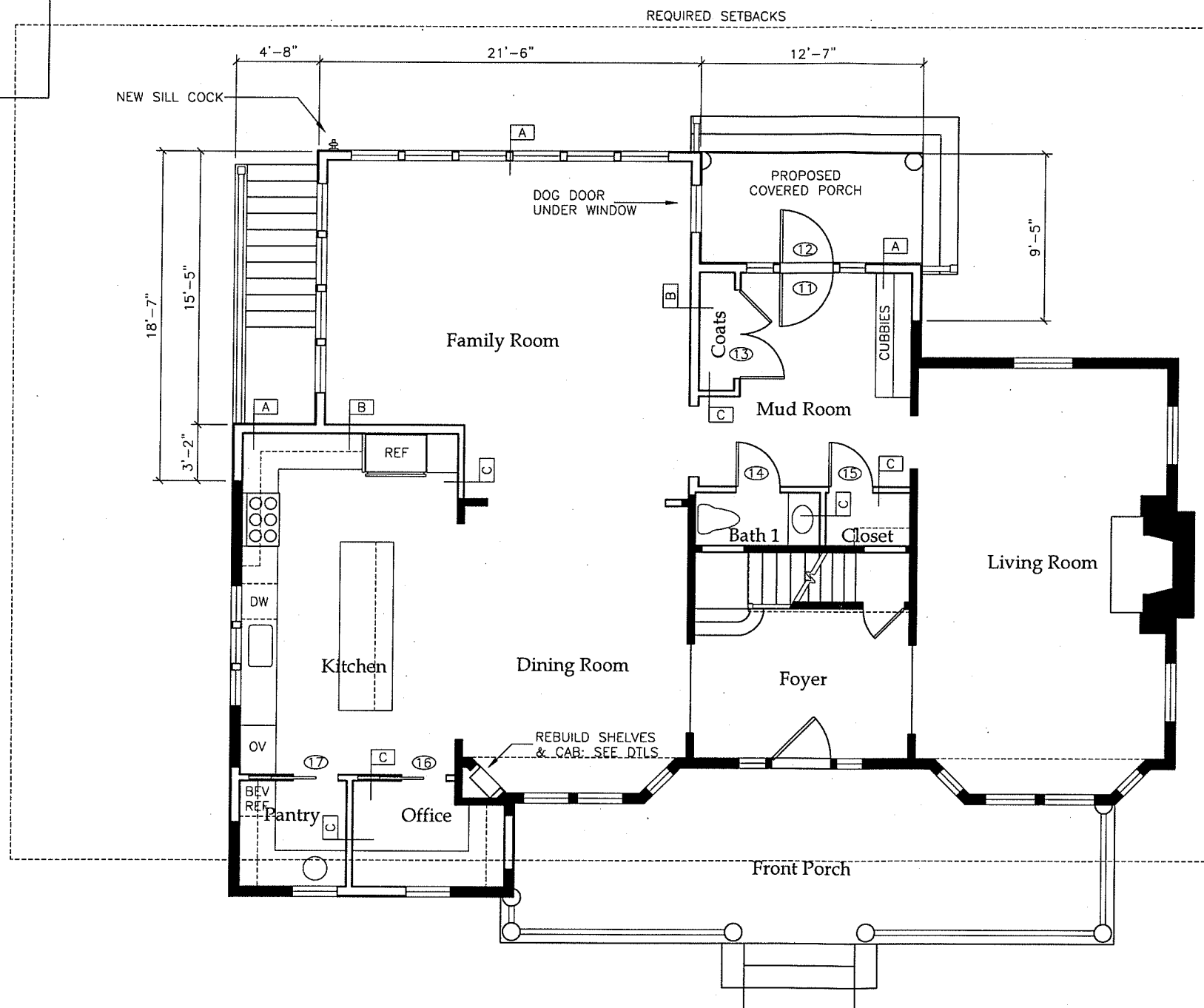
A1.0

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ALL DIMENSIONS TO FRAMING  
UNLESS OTHERWISE NOTED

EXISTING GARAGE  
TO REMAIN



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ARLINGTON, MA 02476  
781 643 0759

ROONEY - NEWKIRK RESIDENCE  
60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

TITLE:

First Floor Plan

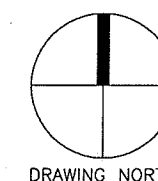
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DATE: 6.28.22

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FILE: PLANS

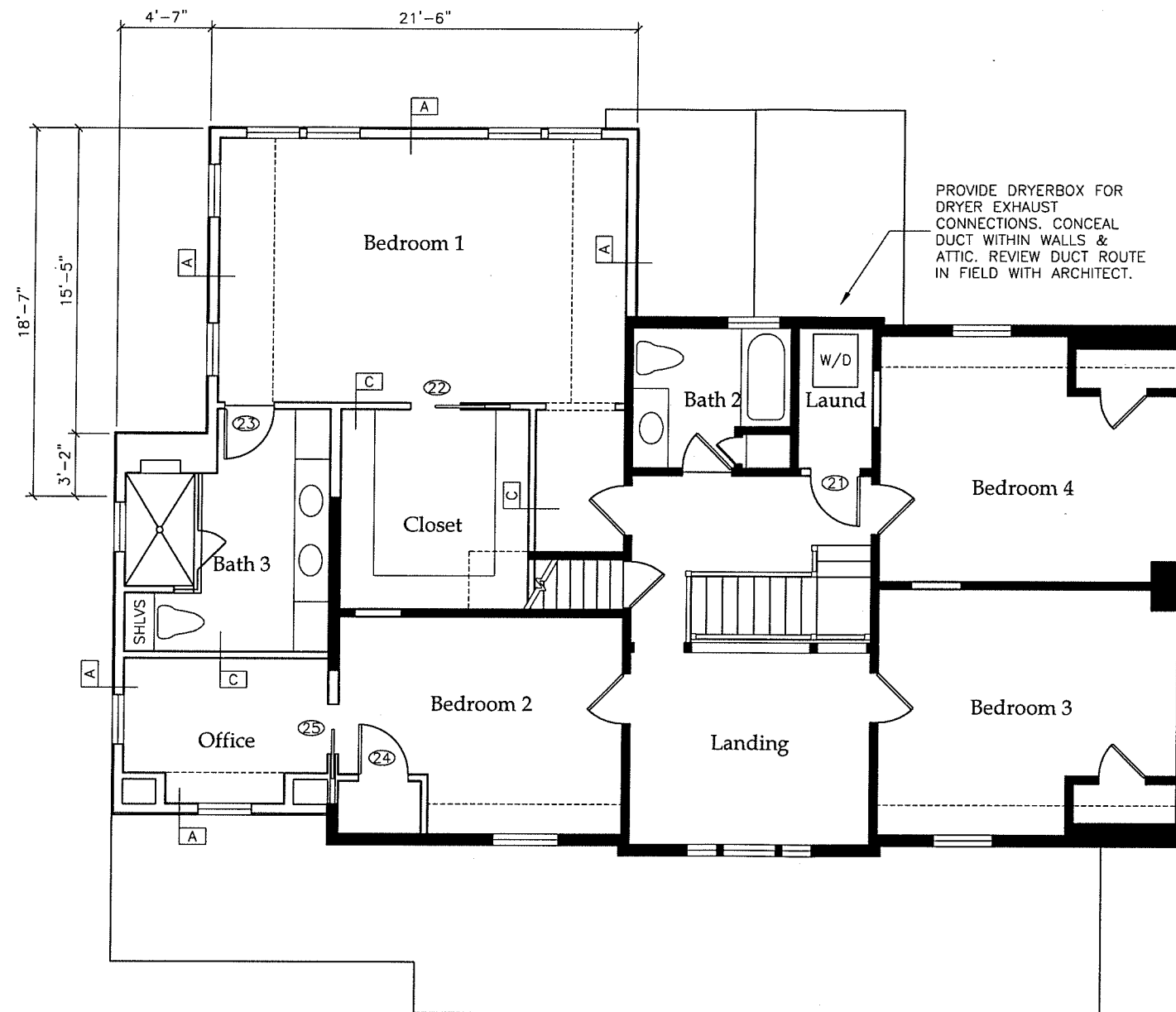
SHEET

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UNLESS OTHERWISE NOTED



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781 643 0759

ROONEY - NEWKIRK RESIDENCE  
60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

TITLE:

Second Floor Plan

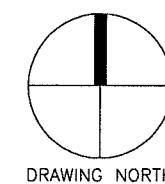
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DATE: 6.28.22

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FILE: PLANS

SHEET

A1.2

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ROONEY - NEWKIRK RESIDENCE  
60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

TITLE:

South Elevation

SCALE: 1/8" = 1'-0"      DATE: 6.28.22

DRAWN BY: DWW  
FILE: PLANS

SHEET

## A2.1

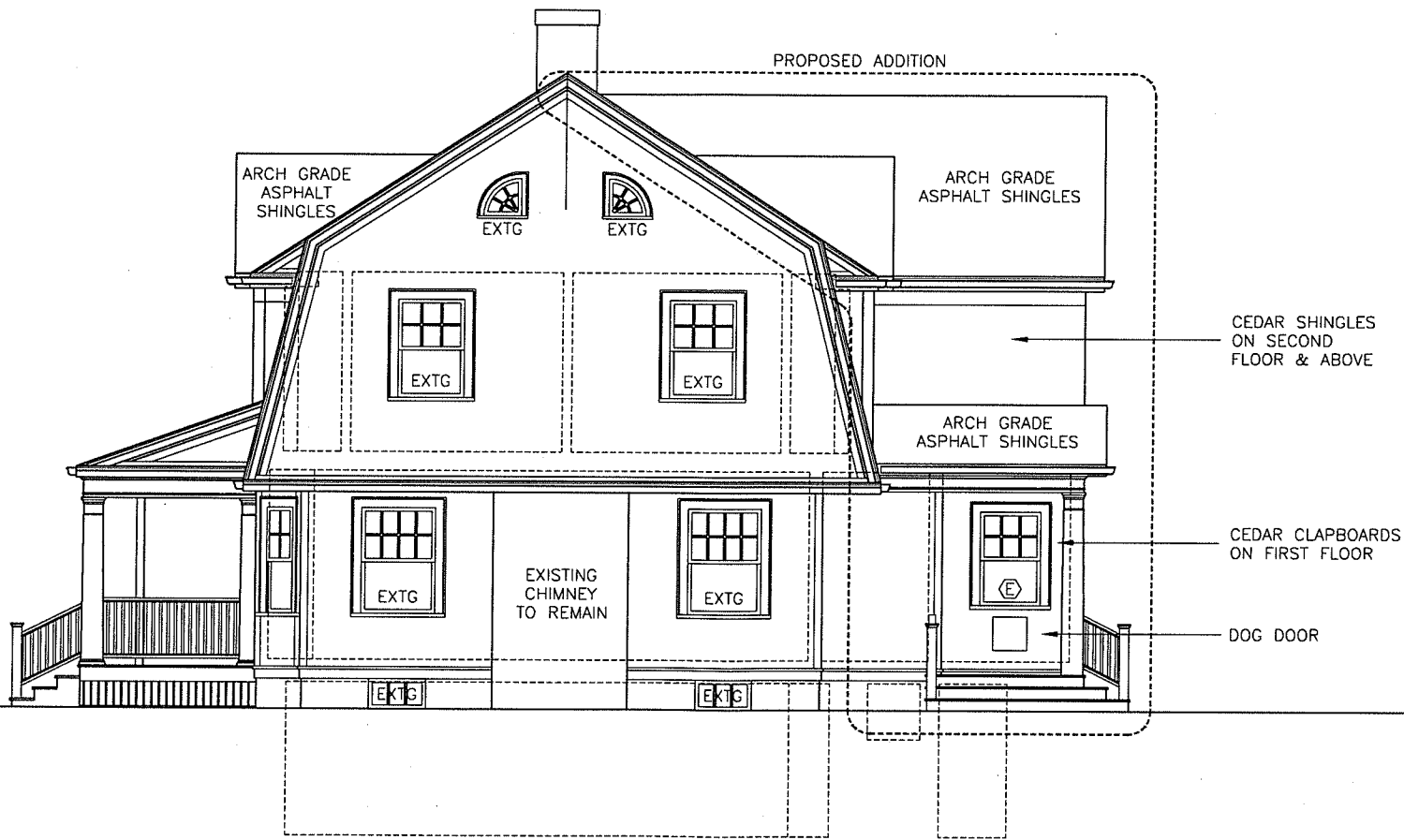
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781 643 0759

ROONEY - NEWKIRK RESIDENCE  
60 HIGHLAND AVENUE  
ARLINGTON, MA 02476



TITLE:

West Elevation

SCALE: 1/8" = 1'-0" DATE: 6.28.22

DRAWN BY: DWW FILE: PLANS

SHEET

A2.2

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ARLINGTON, MA 02476  
781 643 0759

ROONEY - NEWKIRK RESIDENCE  
60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

TITLE:

North Elevation

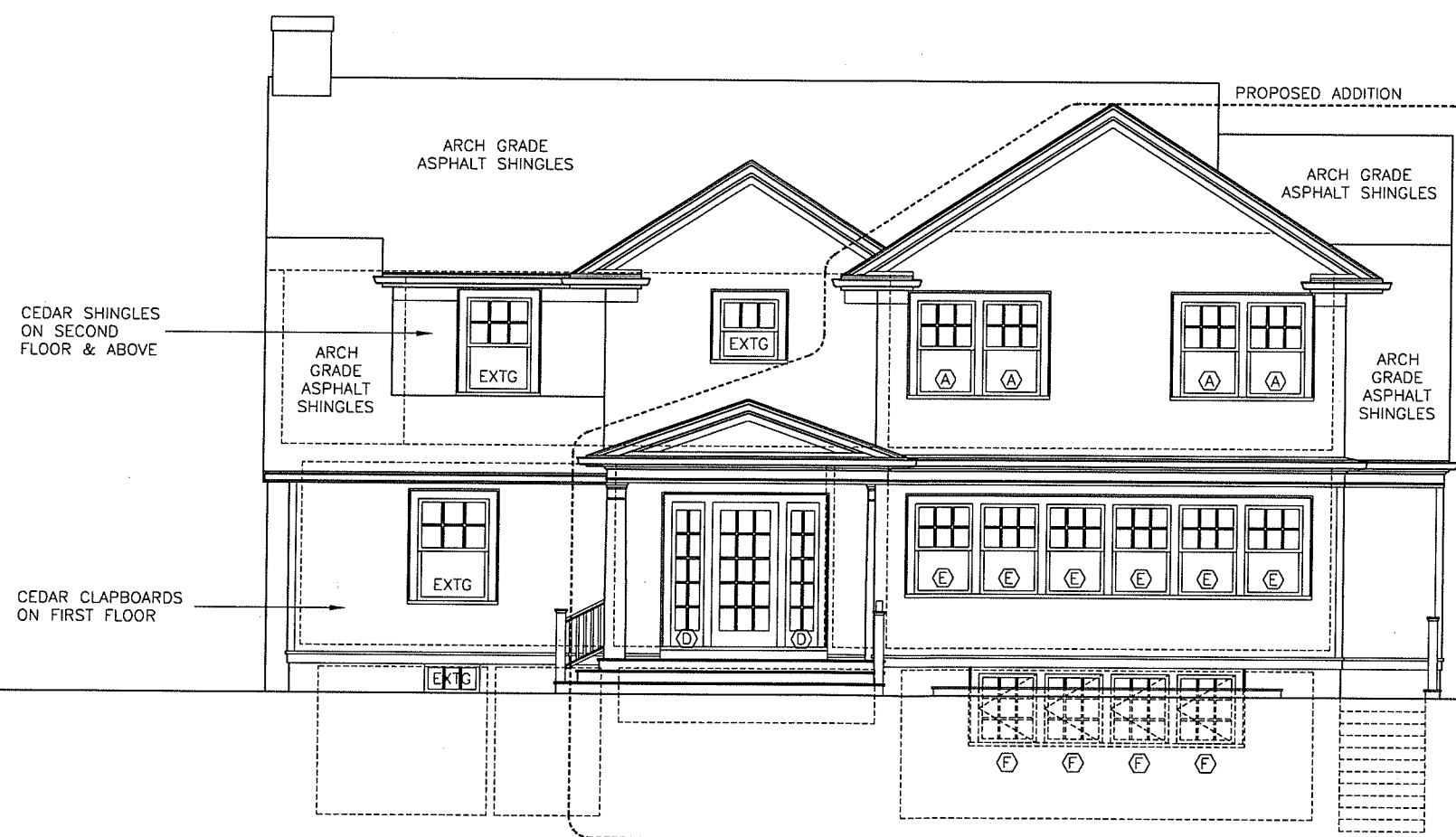
SCALE:  $1/8" = 1'-0"$  DATE: 6.28.22

DRAWN BY: DWW  
FILE: PLANS

SHEET

## A2.3

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DAVID WHITNEY  
ARCHITECT

49 LINDEN STREET  
ARLINGTON, MA 02476  
781 643 0759

ROONEY - NEWKIRK RESIDENCE  
60 HIGHLAND AVENUE  
ARLINGTON, MA 02476

TITLE:

East Elevation

SCALE: DATE:  
1/8" = 1'-0" 6.28.22

DRAWN BY: FILE:  
DWW PLANS

SHEET

A2.4

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